

Planning Commission

Ashley Bertussi, Chairperson
Jeffrey Chan, Vice-Chairperson
Sergio Lopez, Commissioner
Andy Alvarez, Commissioner
Aaron Popejoy, Commissioner
Jorge A. Perez, Commissioner
Armando Muñoz, Commissioner



City Attorney
Joanna Smith Hoff

Commission Secretary
Angel Hernandez

<http://cityofelcentro.org/>

AGENDA

CITY OF EL CENTRO PLANNING COMMISSION

**City Hall
Council Chambers
1275 Main Street
El Centro, CA 92243**

TUESDAY, AUGUST 11, 2026 AT 5:30 PM

Any member of the public attending in person and wishing to make a comment is asked to complete a speaker slip and follow the "Notice to the Public" instructions below. Alternatively, any member of the public is invited to submit public comments in advance of the meeting to be answered at the meeting. Please email your questions to ecplanning@cityofelcentro.org or call (760) 337-4545. The public may participate and make public comments via the following Zoom link:

<https://us06web.zoom.us/j/81164635306?pwd=sYM5xv6hN9t9RbLf0SkYcXdwUbvWyR.1>

Optional dial-in number: 1.669.900.6833
Meeting ID: **811 6463 5306** Passcode: **568811**

Public comments via zoom are subject to the same time limits as those in person.

NOTICE TO THE PUBLIC

This is a public meeting. If there is a matter on the agenda on which you wish to be heard, please come forward to the microphone; address yourself to the commission, stating your name and address for the record. Persons wishing to address the Commission are not required to identify themselves (Gov't Code § 54953.3); however, this information assists the Chairperson by ensuring that all persons wishing to address the Commission are recognized and it assists the Commission's Secretary in preparing meeting minutes. The Chairperson reserves the right to place a time limit on each person asking to be heard. If you wish to address the Commission concerning any other matter within the Commission's jurisdiction, you may do so during the public comment portion of the agenda.

*** Any information provided on the "Speaker Slip" is voluntary and will be public record.**

CALL TO ORDER:

ROLL CALL

CONSENT AGENDA

Consent agenda items are approved by one motion. Commissioners or members of the public may pull consent items to be considered separately at a time determined by the Chairperson.

1. Approval of July 14, 2026, Planning Commission Minutes

PUBLIC HEARINGS

2. Waterman Condominiums Parcel Map Waiver

Lisa Tylenda, on behalf of property owner Venkat Patlola, requests a waiver of the parcel map requirement for a 49-unit condominium development at the southeast corner of Ford Drive and Waterman Avenue (APN 064-442-007). A parcel map waiver for condominium projects on a single parcel is allowed when findings can be made pursuant to Section 24-6 of the City of El Centro Municipal Code. Each condominium unit will have two parking spaces and private open space, with 13 additional visitor parking spaces and a 7,419-square-foot common open space area provided on-site. The project will take access from Waterman Avenue and Ford Drive, with internal circulation served by private roads. The Planning Commission will consider if findings in support of a parcel map waiver can be made at this project site.

Presentation: Andrea Montano, Associate Planner

Recommendation:

Approve Parcel Map Waiver for Tentative Subdivision Map 25-01

NEW BUSINESS

NON-ACTION INFORMATION ITEMS

3. Community Development Department Monthly Report

PUBLIC COMMENTS

ADJOURNMENT

Materials related to an item on this Agenda submitted to the Commission after distribution of the agenda packet will be available for public inspection at the Community Development Department-Planning & Zoning Division located at 1275 W. Main Street, El Centro, California during normal business hours.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, you should contact the Community Development Department-Planning & Zoning Division at (760) 337-4545. Notification of at least 72 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.



PLANNING COMMISSION

City Hall
1275 W. Main Street
El Centro, CA 92243

Item: 1.

Meeting: 8/11/2026 5:30 PM
CONSENT AGENDA

APPROVAL OF JULY 14, 2026, PLANNING COMMISSION MINUTES

STAFF REPORT - ACTION ITEM:

Please find the attached Planning Commission Meeting Minutes for the meeting on July 14, 2026.

ATTACHMENTS:

1. 07.14.2026 Minutes

MINUTES OF THE PLANNING COMMISSION
TUESDAY, JULY 14, 2026
5:30 PM

PLANNING COMMISSION

ASHLEY BERTUSSI, CHAIRPERSON
JEFFREY CHAN, VICE-CHAIRPERSON
SERGIO LOPEZ, COMMISSIONER
ANDY ALVAREZ, COMMISSIONER
AARON POPEJOY, COMMISSIONER
JORGE A. PEREZ, COMMISSIONER
ARMANDO MUÑOZ, COMMISSIONER

CALL TO ORDER:

The El Centro Planning Commission convened in a regular session at City Hall Council Chambers, 1275 W. Main Street, El Centro, California at 5:30 PM.

Chairperson Ashley Bertussi presided over the meeting.

ROLL CALL

PRESENT:

Chairperson Ashley Bertussi
Commissioner Andy Alvarez
Commissioner Sergio Lopez
Commissioner Jorge A. Perez
Commissioner Aaron Popejoy

ABSENT:

Vice-Chairperson Jeffrey Chan
Commissioner Armando Muñoz

STAFF ATTENDANCE:

Community Development Director, Angel Hernandez
Building Official, Frank Soto
Associate Planner, Andrea Montañó
Building Inspector, Virgilio Anguiano
Assistant Planner, Valeria Landeros
Staff Assistant, Poleth Lopez

CONSENT AGENDA

Consent agenda items are approved by one motion. Commissioners or members of the public may pull consent items to be considered separately at a time determined by the Chairperson.

1. June 09, 2026, Planning Commission Minutes

Commissioner Popejoy moved to approve, seconded by Commissioner Alvarez.

Voting Yes: Commissioner Alvarez, Commissioner Perez, Chairperson Bertussi, Commissioner Popejoy

Voting No: None

Abstaining: Commissioner Lopez

PUBLIC HEARINGS

2. Public Hearing to consider a recommendation to the City Council on a 12-month extension for the Lotus Ranch Tentative Subdivision Map

Rigid Electric, Inc. requests a one-year extension of the Lotus Ranch Tentative Subdivision Map to August 5, 2027. The 213-acre site, located south of I-8 between La Brucherie Ave. and the Lotus Canal, is approved for the development of 547 single-family lots, 10.8-acre park, 16.5 acres of retention basin. Presently the site contains 44 single family homes, 200 acres of agriculture, and 100 acres of vacant land. The Planning Commission will consider a recommendation to the City Council.

Presentation: Angel Hernandez, Community Development Director

Recommendation:

Recommend Approval of the 2nd 12-Month extension for the Lotus Ranch Tentative Subdivision Map

Community Development Director, Angel Hernandez presented this project, located south of Interstate 8. It currently has maps recorded for the 34 homes built and 10 under construction. The commission discussed the timeline for extensions, clarifying that recording a map extends the deadline by two years, while discretionary extensions are limited to one year.

Commissioner Popejoy moved to approve, seconded by Commissioner Perez.

Voting Yes: Commissioner Alvarez, Commissioner Lopez, Commissioner Perez, Chairperson Bertussi, Commissioner Popejoy

Voting No: None

Abstaining: None

3. Public Hearing to consider approving Zoning Variance 26-01- 453 Commercial Avenue Fence.

Manjit Toor, Representative of Imperial Valley Khalsa Diwan, submitted a request for a Zoning Variance to replace the existing legal-nonconforming chain-link fence with a six-foot-tall block wall featuring wrought iron ornamental fencing and 1-foot-tall dome features on top of each column. The proposed fence would be located within the required front yard setback of the property at APN 053-047-003 also known as 453 Commercial Avenue. The Zoning Ordinance limits fences in the required front to a maximum of four feet in height for fences that are open and

three feet tall for fences that are close. The Planning Commission will consider if a zoning variance will be appropriate at this project site.

Presentation: Andrea Montano, Associate Planner

Recommendation:

Motion to adopt Planning Commission Resolution No. 26-___, approving Zoning Variance 26-01.

Andrea Montano presented the project, explaining that the current 7-foot fence (including barbed wire) has been in place since the 1940s and the proposed replacement would maintain security while being more aesthetically pleasing. The commission discussed the request and noted that while they had previously denied a similar variance for a residential property, this request for a house of worship operated under different requirements.

Commissioner Lopez moved to Approve, seconded by Commissioner Popejoy.

Voting Yes: Commissioner Alvarez, Commissioner Lopez, Commissioner Perez, Chairperson Bertussi, Commissioner Popejoy

Voting No: None

Abstaining: None

4. Public Hearing to Consider Approval of Tentative Parcel Map 25-01.

Jorge Pacheco, on behalf of property owner Mario Alberto Otero, has submitted a request for a Tentative Parcel Map to subdivide the property located at 875 Glenwood Drive (APN 052-270-032). The proposal would subdivide the existing parcel into three (3) parcels, including two parcels of approximately 0.67 acres each and one parcel of approximately 0.75 acres. The purpose of the subdivision is to facilitate the future development of three single-family homes on property zoned R-1 Single Family Residential. Access to the proposed parcels would be provided through an extension of Glenwood Drive.

Presentation: Andrea Montano, Associate Planner

Recommendation:

Open the public hearing and table this item to a later date.

Associate Planner, Andrea Montano reported that while discussions with the applicant and neighboring property owners continued, no new re-submittals were ready for review, leading to confusion about whether to table the item or continue it to a specific future meeting. The commission clarified they would close the public hearing and re-notice the item when the applicant is ready to present updated information, likely not in the next month.

Commissioner Perez moved to Table, seconded by Chairperson Bertussi.

Voting Yes: Commissioner Alvarez, Commissioner Lopez, Commissioner Perez, Chairperson Bertussi, Commissioner Popejoy

Voting No: None

Abstaining: None

NEW BUSINESS

5. Community Development Department Report

Community Development Director, Angel Hernandez, gave the Planning Commission an update on the Imperial Avenue Complete Streets Plan grant.

NON-ACTION INFORMATION ITEMS

PUBLIC COMMENTS

No public comments were obtained.

ADJOURNMENT

The meeting was adjourned at 6:24 P.M.



PLANNING COMMISSION

City Hall
1275 W. Main Street
El Centro, CA 92243

Item: 2

Meeting: 08/11/2026 5:30 PM
Public Hearing

PUBLIC HEARING TO CONSIDER ISSUING A FINDINGS IN SUPPORT OF A PARCEL MAP WAIVER FOR THE WATERMAN CONDOMINIUMS AT THE SOUTHEAST CORNER OF FORD DR. AND WATERMAN AVE.

Project #: TSM 25-01
Applicant: Lisa Tylenda

Location: SEC Ford Drive and Waterman Avenue
Project Type(s): Parcel Map Waiver

Staff Planner: Andrea Montaña,
Associate Planner

Proposed Use: Condominiums

PROJECT SUMMARY

Lisa Tylenda, on behalf of property owner Venkat Patlola, is requesting a waiver of the parcel map requirement to allow for the development of a 49-unit condominium project on a single parcel located at the southeast corner of Ford Drive and Waterman Avenue (APN 064-442-007). The proposed development consists of 49 condominium units, each provided with two parking spaces and private open space, along with 13 additional visitor parking spaces and a 7,419-square-foot common open space area (refer to Exhibit A – Site Plan). Access to the project would be provided from both Waterman Avenue and Ford Drive, with internal circulation served by private roads. Because the proposed condominium project is located entirely on a single existing parcel and no new lots are being created, the applicant is requesting that the parcel map requirement be waived, asserting that the project meets the applicable City standards that would support the required findings.

Section 24-6 of the El Centro Municipal Code allows the Planning Commission to waive the requirement to file a tentative map and prepare, file, and record a final or parcel map for a condominium project proposed on a single parcel. To grant the waiver, the Planning Commission must find that the proposed subdivision complies with applicable requirements as to area, improvement and design, flood and water drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, and other requirements of Chapter 24 and the Subdivision Map Act. The applicant must submit sufficient information for the Planning Commission to make these findings and must pay the fee prescribed for tentative maps.

STAFF RECOMMENDATION: APPROVE PARCEL MAP WAIVER FOR TSM 25-01



Exhibit A - Project Location Map

SITE INFORMATION

The project site comprises 3.59 acres in the northern portion of the City, located at the south east corner of Waterman Avenue and Ford Drive (APN 064-442-007; see Exhibit A – Project Location Map). The property is currently vacant and there are no structures or buildings on the site.

Site Area	Building Area	Current Zoning	General Plan
3.59 acres	Vacant	R3- Multiple Family Residential	High-Medium Density Residential



Exhibit B.1 - Photo of project site, viewing north west



Exhibit B.2 - Photo of project site, viewing south east

LAND USE REVIEW

The project site is located at the southeast corner of Ford Drive and Waterman Avenue and is currently zoned R3 (Multiple Family Residential) and designated High-Medium Density Residential on the General Plan Land Use Map. Development standards in the R3 zone allows for a density maximum of 25 units per acre. This project site being 3.59 would have a maximum density of 90 units. Condominiums are permitted by right in the R3 zone, and the proposed 49-unit condominium project is consistent with both the current zoning and General Plan designation.

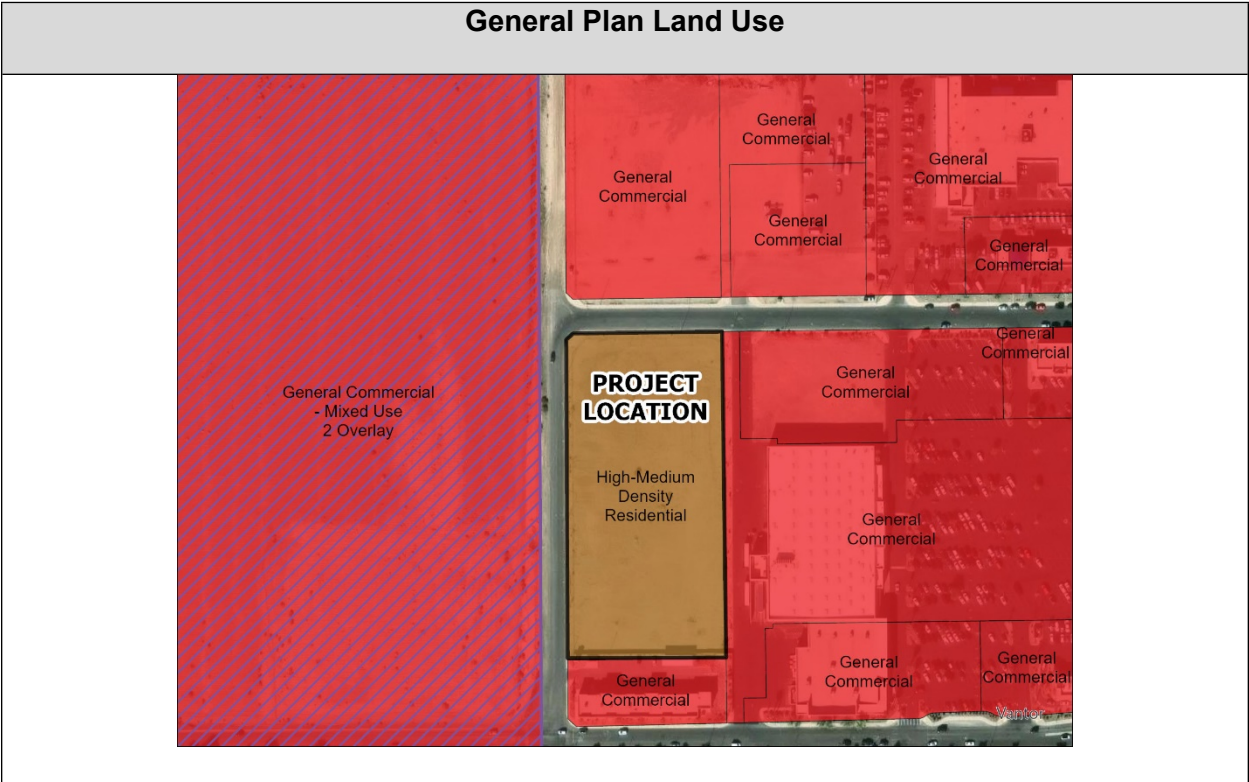
The properties surrounding the project site to the north, south, east, and west are zoned CG (General Commercial) and developed or planned with general commercial uses. El Centro Motors is located to the north, the Food 4 Less shopping center is located to the east, and the Desert Sun Professional Plaza, which includes dental and physical

therapy offices, is located directly to the south. The property to the west is currently vacant and is the proposed future site of the Imperial County Transportation Commission (ICTC) offices.

The project incorporates several design features intended to buffer the residential units from surrounding commercial activity. A 24-foot-wide private street separates the project from the commercial uses to the south. To the east, a 30-foot-wide buffer area containing a retention basin and landscaping, together with a 6-foot-tall block wall, separates the condominium units from the adjacent property, and an additional 30-foot-wide private road further separates the project from the Food 4 Less building. These features are intended to provide separation and mitigate potential compatibility impacts between the proposed residential use and the surrounding commercial development. Based on staff review, the project will provide sufficient access and adequate utilities and will comply with current building and safety standards, thereby ensuring compatibility with the subject property (See Exhibit B-Department Comments).

TABLE 1: COMPARISON OF SURROUNDING PROPERTIES

Vicinity	Land Use Designation	Zoning	Current Use
Subject Property	High-Medium Density Residential	R3- Multiple Family Residential	Vacant land
North	General Commercial	CG- General Commercial	El Centro Motors
East	General Commercial	CG- General Commercial	Food 4 Less Shopping Center
South	General Commercial	CG- General Commercial	Desert Sun Professional Plaza
West	General Commercial	CG- General Commercial	Vacant land; Future ICTC Offices



ANALYSIS

UTILITIES

Utilities are adequate to serve the project. The project will be connected to the existing 12-inch water main along Waterman Avenue and Ford Drive, and to the existing 36-inch sewer line at Cruickshank and the 8-inch sewer line along the Food 4 Less access road to the south. Internally, the project will be served by 8-inch water lines and 6-inch sewer lines, with 4-inch service lines provided to each condominium unit.

TRANSPORTATION AND CIRCULATION

Vehicular access to the project will be provided from both Waterman Avenue and Ford Drive, consistent with the City's vehicle circulation system. Internal circulation will be provided by private roads, consisting of a 24-foot-wide private street along the southern portion of the site and an additional 30-foot-wide private road along the eastern property line. The project site is required to provide 110.25 parking spaces. Each condominium unit will accommodate two parking spaces in their private garage which will account for 98 parking spaces. The remaining spaces will be accommodated on designated parking areas within the main drive isle. The private roads meet City standards, as no on-street parking will be permitted within the project other than the designated private parking spaces. The site has sufficient fire apparatus access, which has been reviewed and confirmed by the Fire Department.

AESTHETICS

The project is designed in accordance with Section 29-56 of the El Centro Municipal Code (Multi-Family Residential Design Standards). Units are arranged so that front doors face one another across internal walkways and landscaped areas, and garages face one another and are separated by the internal private streets. The project provides 7,419 square feet of landscaped common open space, along with a landscape buffer along the east property line and landscaped entry treatments at the main driveway access on Waterman Avenue. Textured paving is provided at both project access points, at Ford Drive and Waterman Avenue. A decorative fence is proposed along the Ford Drive and Waterman Avenue frontages, and a block wall is proposed along the east and south property lines.

BUILDING AND SAFETY

The project will be built in accordance with the 2025 California Building Code and will meet all applicable Building and Safety standards. The internal circulation, including the private roads and drive aisles, was reviewed by both Engineering and Fire Department staff and was found to meet applicable standards, including fire apparatus access requirements.

NEIGHBORHOOD COMPATIBILITY

The project site is bordered to the north and west by public roadways rather than adjacent private property, and is bordered to the south and east by commercially zoned and developed or planned property, including the Desert Sun Professional Plaza to the south and the Food 4 Less shopping center to the east. El Centro Motors is located to

the north and the future site of the Imperial County Transportation Commission (ICTC) offices is located to the west, on the opposite side of the adjacent roadways. A 6-foot-tall block wall is proposed along the east and south property lines, providing separation between the condominium units and the adjacent commercial uses, while a decorative fence is proposed along the Ford Drive and Waterman Avenue frontages to the north and west. To further address compatibility with the commercial uses to the south and east, the project incorporates a 24-foot-wide private street along the south and a 30-foot-wide buffer area to the east consisting of a retention basin and landscaping, with an additional 30-foot-wide private road further separating the project from the Food 4 Less building.

PUBLIC NOTING AND ENVIRONMENTAL REVIEW

PUBLIC NOTICING

A public hearing notice was distributed to property owners 300-feet from the project site and published in the Imperial Valley Press on Friday, July 31, 2025. As of the date of preparation of this staff report, staff have not received any communications or comments regarding the project.

ENVIRONMENTAL REVIEW

The proposed parcel map waiver for Tentative Subdivision Map 25-01, if approved by the Planning Commission, would be found categorically exempt pursuant to Section 15332 of the California Environmental Quality Act Guidelines related to infill development projects.

FINDINGS

In determining the advisability of issuing a recommendation for a Parcel Map Waiver the Planning Commission shall consider the findings found in Section 24-6 of the El Centro City Code used for waiver of tentative map and final or parcel map for condominium projects on a single parcel. Below are the findings with staff's recommended language in support of the findings:

- 1) The proposed map is consistent with the City's General Plan.

The existing zoning and the proposed condominium configuration is consistent with the High-Density Residential land use designation of the General Plan.

- 2) The design or improvement of the proposed subdivision is consistent with the General Plan.

The design and improvement of the proposed condominium project is consistent with the High-Density Residential designation of the General Plan.

- 3) The site is physically suitable for the type of development.

The site is physically suitable for development of condominium units. The site being 3.59 acres with an allowed density of 25 dwelling units per acre would allow for the construction of up to 90 residential dwelling units. The project is proposing to develop 49 condominium units which is well under the allowed threshold. In addition to an adequate interior circulation area, there are adequate infrastructure improvements in the rights of way fronting the project site. The project will meet the minimum development standards for the zoning designation.

- 4) The site is physically suitable for the proposed density of development.
The allowed density at this development would be a maximum of 90 dwelling units. The project is proposing to develop 49 dwelling units which is below the threshold of allowed units.

- 5) The design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The site is located within a vacant lot within an urban area that does not contain bodies of water or wildlife habitats. Therefore, the project is not expected to result in significant environmental impacts.

- 6) That the design of the subdivision or type of improvements is likely to cause serious public health problems.

The design of the condominium project and the required onsite improvements will not cause serious public health problems.

- 7) The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

The design of the subdivision or the type of improvements will not conflict any easements and access through the property will be properly maintained. A condominium map will be recorded to ensure proper access and share use of all common areas in the condominium community.

NEXT STEPS

If the Planning Commission issues a recommendation in favor of the project, the applicant will be allowed to apply for a review to record the condominium map.

OPTIONS & RECOMMENDATION

OPTIONS

The Planning Commission has the following options when considering action on this request:

1. Motion to recommend approval of the Parcel Map Waiver for Tentative Subdivision Map 25-01, subject to the adoption of the required findings;
2. Motion to disapprove the Parcel Map Waiver for Tentative Subdivision Map 25-01, with the adoption of the required findings against the proposal; or
3. Motion to continue the hearing for further study.

RECOMMENDATION

Staff recommends that the Commission open the public hearing and allow input from all proponents and opponents of the proposed project. Because the use would be compatible with the surrounding uses of the area, staff would have no objection to the proposed project. Therefore, it is staff recommendation that the project be recommended for approval by taking the following action:

Motion to adopt Planning Commission Resolution No. 26-____ (Exhibit C), recommending approval of Parcel Map Waiver for Tentative Subdivision Map 25-01.

ATTACHMENTS

Exhibit A – Tentative Subdivision Map
Exhibit B – Department Comments
Exhibit C – Resolution

TENTATIVE CONDOMINIUM MAP
FOR

WATERMAN AVENUE CONDOMINIUM PROJECT

PARCEL 2 PER PM 13-95, BEING A PORTION OF LOT 14 OF NORTHGATE SUBDIVISION PER FM 19-50, TOWNSHIP 15 SOUTH, RANGE 13/14 EAST, S.B.M.

LEGAL DESCRIPTION:

THAT PORTION OF LOT 14 OF NORTHGATE SUBDIVISION, IN THE CITY OF EL CENTRO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED IN BOOK 19, PAGE(S) 50 OF FINAL MAPS, RECORDS OF IMPERIAL COUNTY, CALIFORNIA, SHOWN AND DESIGNATED AS PARCEL 1 OF PARCEL MAP NO. 15-01 ON FILE IN BOOK 13 OF PARCEL MAPS, PAGE(S) 95, RECORDS OF IMPERIAL COUNTY, CALIFORNIA.

EXCEPTING ONE-HALF OF ALL GEOTHERMAL, OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES AND MINERALS LYING IN AND UNDER SAID LAND, OR PRODUCED AND SAVED THEREFROM WITH RIGHT TO DRILL INTO, FROM AND THROUGH SAID LAND, AND ALL SUBSURFACE EASEMENTS NECESSARY OR CONVENIENT TO PROSPECT FOR, PRODUCE AND DEVELOP GEOTHERMAL, OIL, GAS, AND OTHER HYDROCARBON SUBSTANCES AND MINERALS BY MEANS OF SLANT DRILLING OPERATIONS CONDUCTED FROM SURFACE LOCATIONS OUTSIDE OF LAND, INTO OR THROUGH SAID LAND, TO PRODUCING INTERVALS EITHER WITHIN OR BEYOND SAID LAND, ALL SUBJECT, HOWEVER, TO THE CONDITION THAT IN THE ENJOYMENT OF SAID RESERVED AND EXCEPTED RIGHTS AND INTEREST, GRANTOR SHALL NOT ENTER UPON THE SURFACE OF SAID LAND OR INTO THE UPPER 500 FEET THEREOF MEASURED VERTICALLY FROM SAID SURFACE, RESERVED BY UNITED STATES CALIFORNIA BANK, TRUSTEE, BY DEED RECORDED JULY 20, 1972 IN BOOK 1331, PAGE 377 OF OFFICIAL RECORDS.

APN: 064-442-007-000

OWNERS / DEVELOPERS:

AVENKING LLC/AFFORDABLE HOUSING LAND CONSULTANTS,
A CALIFORNIA LIMITED LIABILITY COMPANY
CRUICKSHANK DRIVE
EL CENTRO, CA 92243

ENGINEER:

CARLOS CORRALES R.C.E. 55,432
LC ENGINEERING CONSULTANTS INC.
1065 W STATE STREET
EL CENTRO, CALIFORNIA
TEL (760) 353-8110

SURVEYOR:

MAURICIO LAM P.L.S. 8,440
LC ENGINEERING CONSULTANTS INC.
1065 W STATE STREET
EL CENTRO, CALIFORNIA
TEL (760) 353-8110

ASSESORS PARCEL NUMBER:

APN: 064-442-007-000

ZONING DATA:

EXISTING = R3 MULTIPLE FAMILY RESIDENTIAL
PROPOSED = CONDOMINIUM

BUILDING SET-BACKS:

FRONT YARD SET-BACK ----- 20 FT. (MIN.)
SIDE ----- 5 FT. (MIN.)
STREET SIDE ----- 15 FT. (MIN.)
REAR YARD SET-BACK ----- 25 FT. (MIN.)

FLOOD ZONE:

THE SUBJECT PROJECT SITE IS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCIES FLOOD INSURANCE RATE MAP (FIRM PANEL 1725 OF 2300 WITH MAP NUMBER 06025C1725C WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008) AS LYING ENTIRELY WITHIN ZONE "X", WHICH IS DESCRIBED AS AREA OF MINIMAL FLOOD HAZARD.

DRAINAGE CALCULATIONS:

A) DETENTION BASIN (STORAGE REQUIRED)

OF A 100 YEAR STORM (3 INCHES OF RAIN)

AREA = 3.59 AC.

V = AREA X 3" X 0.65

V = (3"/12) X 3.59 AC. X 0.65 = 0.58 AC-FT

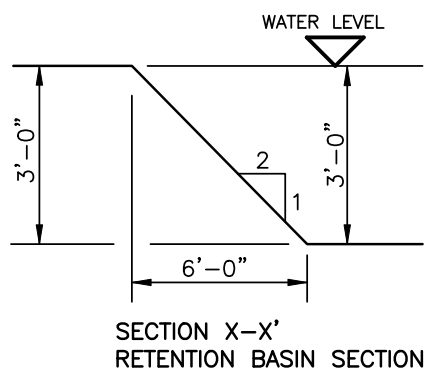
B) DETENTION BASIN (TOTAL STORAGE PROVIDED)

TOP OF WATER AREA = 0.276 AC.

BOTTOM AREA= 0.141 AC.

DEPTH= 3.00 FEET

V = [(0.276 AC. + 0.141 AC.) / 2] X 3' = 0.62 AC-FT



NOTE:

1. ACKNOWLEDGING THE REQUIREMENTS FROM THE CITY OF EL CENTRO TO PROVIDE A MAXIMUM OF A 4:1 (H:V) SLOPES OR FLATTER ON RETENTION BASINS, LCE IS REQUESTING FOR A VARIANCE TO PROVIDE A 2:1 SLOPE AROUND THE NEW RETENTION BASIN DUE TO AVAILABLE AREA AND DEPTH RESTRICTIONS. FOR SAFETY MEASURES A 3' HEIGHT FENCE WILL BE PROVIDED AROUND THE RETENTION BASIN.

SITE AREA

SITE AREA = 156,431 S.F. = 3.59 ACRES

GROUND FLOOR BUILDING AREA = 51,155 S.F. (1.17 ACRE) = 32.7%
PARKING AND DRIVE AREA = 40,917 S.F. (0.94 ACRE) = 26.1%
SIDEWALK AND OTHER AREA = 27,489 S.F. (0.64 ACRE) = 17.6%
RETENTION BASIN AREA = 12,041 S.F. (0.27 ACRE) = 7.7%
LANDSCAPE AREA = 24,829 S.F. (0.57 ACRE) = 15.9%

MAXIMUM LOT COVERAGE = 60%
PROVIDED LOT COVERAGE = 33%

MAXIMUM DENSITY DWELLING UNITS PER NET ACRE = 25
PROVIDED DENSITY = 13.6 DWELLING UNITS PER NET ACRE

UNIT SUMMARY

[LIVING AREA]

PLAN 1 = (7) TWO BEDROOM UNITS @ 1,394 S.F. = 9,758 S.F.
PLAN 2 = (14) THREE BEDROOM UNITS @ 1,446 S.F. = 20,244 S.F.
PLAN 3 = (28) THREE BEDROOM UNITS @ 1,641 S.F. = 45,948 S.F.
49 TOTAL UNITS

TOTAL UNIT LIVING AREA = 75,950 S.F.

[GARAGE AREA]

PLAN 1 = (7) TWO BEDROOM UNITS @ 448 S.F. = 3,136 S.F.
PLAN 2 = (14) THREE BEDROOM UNITS @ 448 S.F. = 6,272 S.F.
PLAN 3 = (28) THREE BEDROOM UNITS @ 447 S.F. = 12,516 S.F.
49 TOTAL UNITS

TOTAL UNIT GARAGE AREA = 21,924 S.F.

BUILDING SUMMARY

BUILDING A (THREE PLEX - 7 TOTAL) = (7) @ 6,070 S.F. = 42,490 S.F.

BUILDING B (FOUR PLEX - 7 TOTAL) = (7) @ 7,912 S.F. = 55,384 S.F.

MAXIMUM BUILDING HEIGHT = 45 FEET
PROPOSED BUILDING HEIGHT = 25 FEET

PARKING SUMMARY

PLAN 1 = (7) TWO BEDROOM X 2.25 = 16 PARKING

PLAN 2 = (14) THREE BEDROOM X 2.25 = 32 PARKING

PLAN 3 = (28) THREE BEDROOM X 2.25 = 63 PARKING

49 TOTAL UNITS

PARKING REQUIRED = 111 CARS
PARKING PROVIDED = 111 SPACES

BASIS OF COORDINATES:

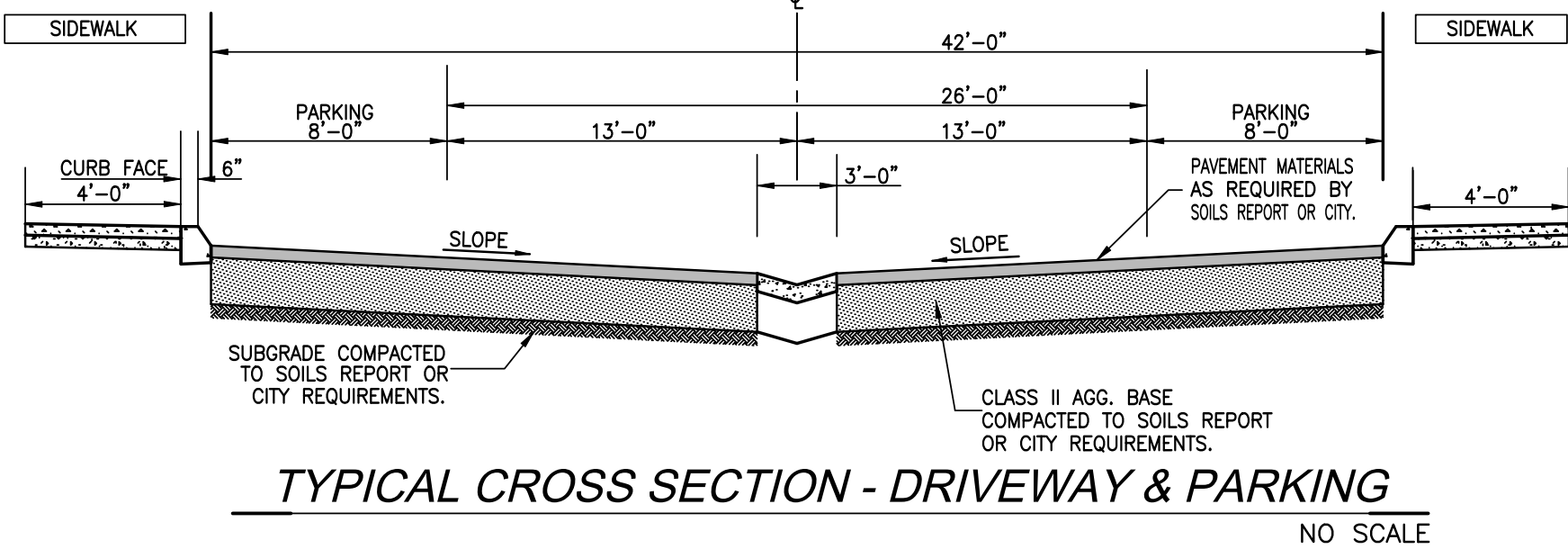
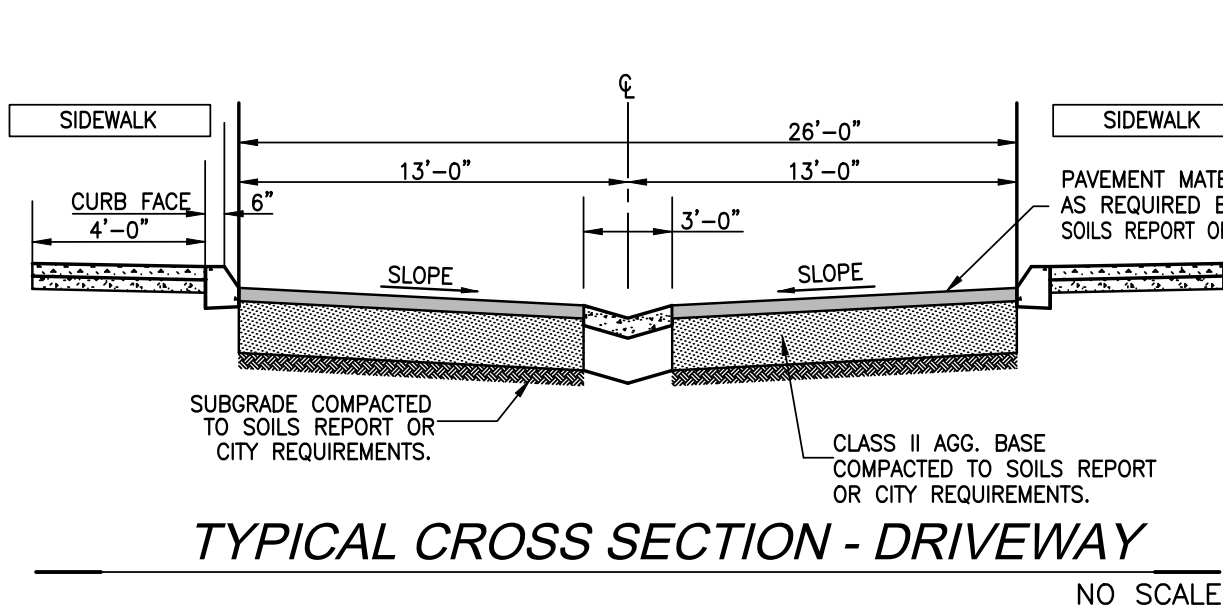
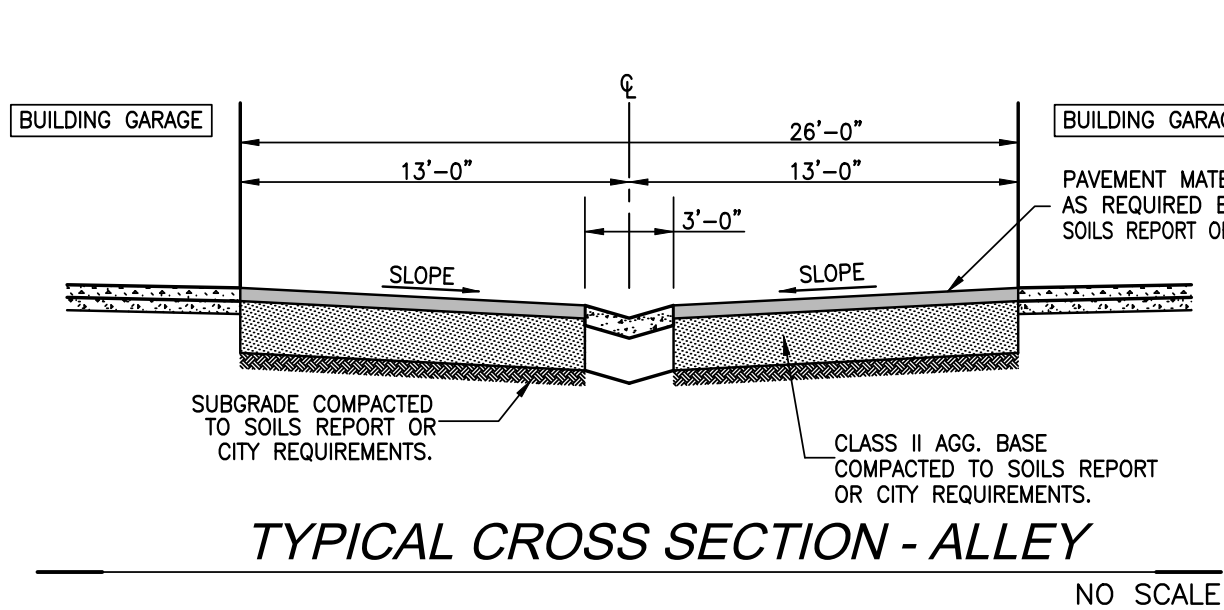
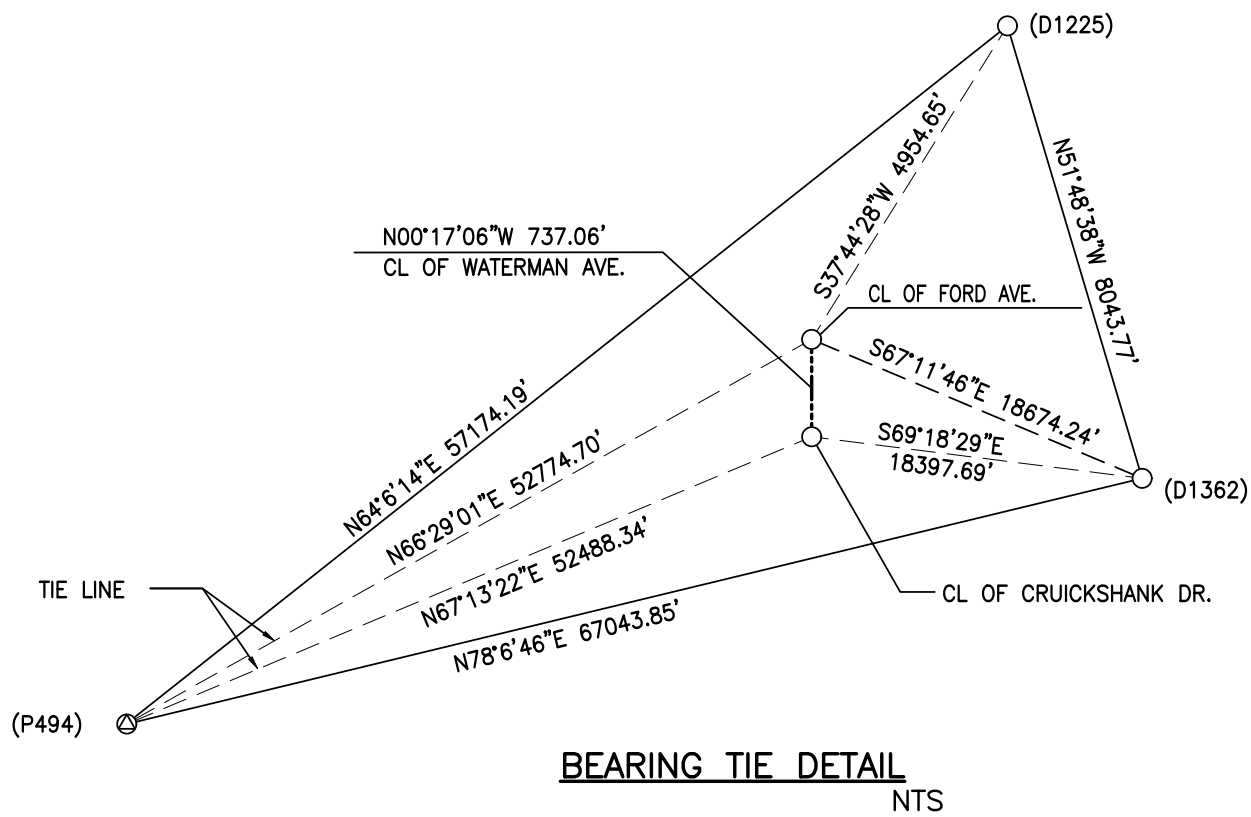
COORDINATES SHOWN HEREON ARE IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM ZONE 6, NAD83, EPOCH 2017.50. EXISTING FIRST ORDER GPS CONTROL POINTS FOUND AND USED TO CONSTRAIN NETWORK.

FIRST HORIZONTAL ORDER (NAD 83) REPEATER STATION IDENTIFIED AS P494 "WestsideESCS2005" LOCATED AT IMPERIAL VALLEY WAS USED FOR HORIZONTAL CALIBRATION, ACCORDING TO PUBLICATION FROM THE CALIFORNIA REAL TIME NETWORK (CRTN) AT SCRIPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC).

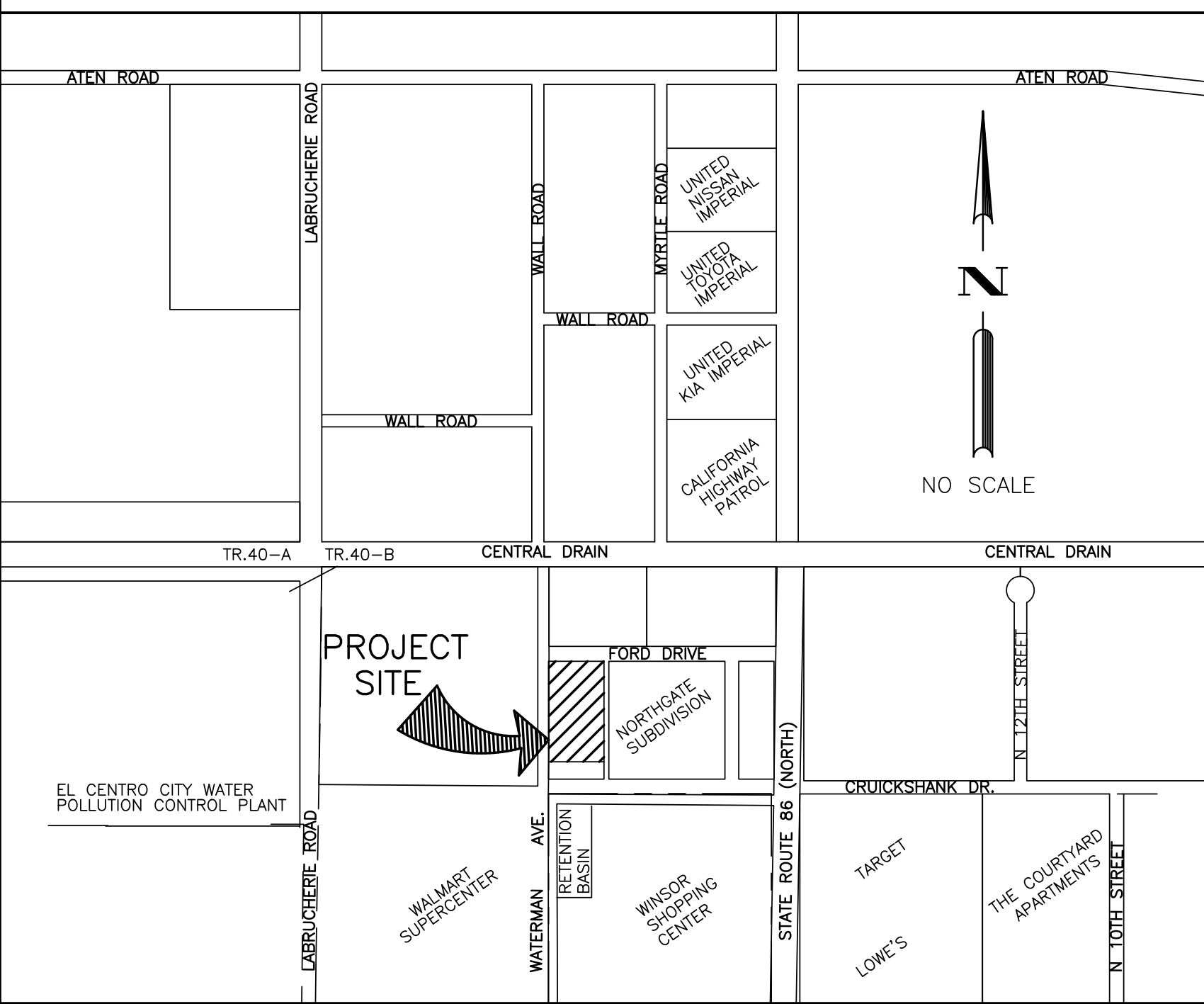
DESIGNATION - WestsideESCS2005, CODE P494
NORTHING = 1856572.919; EASTING = 6,720,899.797 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CCS 83, ZONE 6, GRID BEARING BETWEEN FIRST ORDER STATION C1362 AND REPETAR STATION WestsideESCS2005, AS SAID STATIONS ARE PUBLISHED BY THE NATIONAL GEODETIC SURVEY DATABASE.

I.E. N 78°6'46" E

QUOTED BEARINGS FROM REFERENCED MAPS/DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.



VICINITY MAP



VERTICAL CONTROL:

PROJECT BENCHMARK

TOP OF BRASS DISK STAMPED "D 1225" 1.4 MILES SOUTH ALONG THE SOUTHERN PACIFIC COMPANY RAILROAD FROM THE CROSSING OF MAIN STREET AT IMPERIAL, 0.15 MILE NORTH OF THE CROSSING OF ATEN ROAD, AT THE JUNCTION OF A SPUR TRACK SOUTH, IN THE TOP AND 1.0 FOOT SOUTH OF THE NORTH END OF THE EAST CONCRETE HEAD WALL OF 12-INCH PIPE CULVERT UNDER THE SPUR TRACK, 34.0 FEET EAST OF THE EAST RAIL OF THE MAIN TRACK, 9.0 FEET EAST OF THE EAST RAIL OF THE SPUR TRACK, AND ABOUT 1 FOOT LOWER THAN THE MAIN TRACK. SECTION 19, T15S, R14E, NATIONAL GEODETIC SURVEY DESIGNATION "D 1225" AND PID "DB0676".

ELEVATION = 965.379

TBM # 1

CHISEL "X" ON TOP OF CURB EAST OF WATERMAN AVENUE. IN THE MIDDLE EAST OF THE PROJECT SITE

ELEVATION = 969.73'

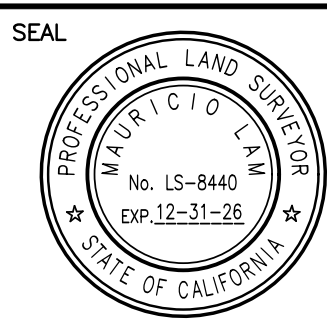
NOTES:

- THE EXISTING GRADING OF PROPERTY SPLIT DRAINS IN A WESTERLY AND EASTERLY DIRECTION.
- THE NEW PROPOSED PROJECT HAS DIRECT ACCESS OF OFF FORD DRIVE AND WATERMAN AVENUE.
- ALL THE MONUMENTS ARE PRESUMED TO MARK THE CORNERS INTENDED.
- IF NO CORNER DESCRIPTION IS NOTED, THE MONUMENT WAS SEARCHED FOR AND NOT FOUND.
- THE PROJECT SEWER DISPOSAL SYSTEM WILL CONNECT TO TWO (2) EXISTING 6" DIA. SEWER STUB-OUT LOCATED AT THE EASTERLY PROJECT PROPERTY LINE.
- EXISTING LIGHTING ALONG WATERMAN AVENUE AND FORD DRIVE WILL REMAIN WITH THE EXCEPTION OF ONE STREET LIGHT LOCATED RIGHT AT THE PROPOSED PROJECT'S ACCESS DRIVEWAY, THIS LIGHT WILL BE RELOCATED.
- ALL SEWER MANHOLES SHALL BE SPACED OUT 300' O/C MAX.
- THE FOLLOWING STUDIES WILL BE PREPARED DURING THE DESIGN PHASE. THE RESULTS FROM SAID STUDIES WILL AND SHALL BE IMPLEMENTED IN THE DESIGN OF THE PROJECT:
 - LANDSCAPE AND IRRIGATION PLANS FOR TREES WITHIN PUBLIC RIGHT OF WAYS (ROADS).
 - WATER SUPPLY STUDY.
 - SEWER SUPPLY STUDY.
 - DRAINAGE STUDY.
- THE ELEVATIONS DEPICTED HEREON ARE APPROXIMATE, THE FINAL GRADES FOR THE PROPOSED UTILITIES, SURFACE FEATURES AND GRADING WILL BE DETERMINED DURING THE DESIGN PHASE OF THE PROJECT.
- APPROPRIATE CC&R's SHALL BE PREPARED PRIOR TO THE FILING OF THE CONDOMINIUM MAP.
- ALL TRIBUTARY STORM WATER DRAINAGE TO THE PROJECT WILL BE CONVEYED TO THE PROPOSED DETENTION BASINS ON THE EAST SIDE OF THE PROJECT (INTERCONNECTED DETENTION BASINS). A DISCHARGE LINE WILL CONNECT TO THE EXISTING STORM DRAIN CATCH BASIN LOCATED AT THE EASTERLY PROJECT PROPERTY LINE.

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CITY OF EL CENTRO
ACCEPTED:

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PREPARED UNDER THE DIRECTION OF:

MAURICIO LAM

DATE

8,440

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TITLE SHEET		SHEET
WATERMAN AVENUE V-CONDOS TENTATIVE CONDOMINIUM MAP		1 4
CITY EL CENTRO, CALIFORNIA	DATE 07/08/26	BY STAFF
CLIENT QE CONSULTING & DESIGN	FILE NAME C25033-00 TCM	JOB NUMBER C25033-08

TENTATIVE CONDOMINIUM MAP
FOR
WATERMAN AVENUE CONDOMINIUM PROJECT

PARCEL 2 PER PM 13-95, BEING A PORTION OF LOT 14 OF NORTHGATE SUBDIVISION PER FM 19-50, TOWNSHIP 15 SOUTH, RANGE 13/14 EAST, S.B.M.

LEGEND:

	SUBDIVISION BOUNDARY
	RIGHT OF WAY
	NEW WATER LINE
	NEW SANITARY SEWER LINE
	NEW FIRE HYDRANT
	NEW STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN LINE
	BUILDING SET BACK LINE (BSL)
	STORM DRAIN MANHOLE
	SANITARY SEWER MANHOLE
	PUBLIC UTILITY EASEMENT

	EXISTING WATER VALVE
	NEW WATER VALVE
	EXISTING FIRE HYDRANT
	NEW FIRE HYDRANT
	EXISTING A.C. PAVEMENT
	PROPOSED A.C. PAVEMENT
	EXISTING P.C.C. CURB & GUTTER
	NEW P.C.C. CURB & GUTTER
	EXISTING SIDEWALK
	NEW P.C.C. SIDEWALK
	EXISTING STREET LIGHT
	NEW STREET LIGHT

	NEW BUILDING
	NEW 54" PICKET FENCE
	EXISTING A.D.A. RAMP
	NEW A.D.A. RAMP
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	SURVEY MONUMENT
	MEASURE DATA (M)
	RECORD DATA PER PARCEL MAP 13-95
	RECORD DATA PER FINAL MAP 19-50

SURVEY MONUMENTS

FD. 1 1/2" I.P. BROKEN TOP ON MONUMENT WELL FOR THE CENTER LINE OF WATERMAN AVE. AND FORD DR. PER PM 13-95 AND FM 19-50.
FD. NAIL & TAG, "RCE 28447" FOR THE NW COR PI OF LOT 14 PER PM 13-95 & FM 19-50.
FD. NAIL & TAG, "RCE 28447" FOR THE NW COR PI OF LOT 14 PER PM 13-95 & FM 19-50.
FD. NAIL & TAG, "RCE 28447" FOR THE SW COR PI OF LOT 13 PER FM 19-50.
FD. NAIL & TAG, "RCE 28447" FOR THE SW COR PI OF LOT 13 PER FM 19-50.
FD. NAIL & TAG, "RCE 28447" FOR THE SE COR OF LOT 13 PER FM 19-50.
FD. 3" I.P. WITH NO TAG FOR THE SW COR OF LOT 12 PER FM 19-50.
FD. 1 1/2" I.P. BROKEN TOP ON MONUMENT WELL FOR THE CL OF FORD DR. AND COTTONWOOD DR. PER PM 13-95 AND FM 19-50.
FD. NAIL & TAG, "RCE 28447" FOR THE NE COR OF LOT 14 PER PM 13-95 AND FM 19-50.
FD. NAIL & TAG, "RCE 31773" ON TOP OF CURB, FOR THE SE COR OF PARCEL 1 PER PM 13-95.
FD. 1 1/2" I.P. TAG NO REDABLE FOR THE SW COR PI OF LOT 14 PER PM 13-95 & FM 19-50.
FD. 1 1/2" I.P. TAG NO REDABLE FOR THE SW COR PI OF LOT 14 PER PM 13-95 & FM 19-50.
FD. 1 1/2" I.P. WITH TOP BROKEN, NO TAG ON MONUMENT WELL FOR THE CENTER LINE OF WATERMAN AVE. AND CRUICKSHANK DR. PER PM 13-95 & FM 19-50.

RECORDED EASEMENTS:

THE FOLLOWING EASEMENTS OF RECORD WERE LISTED IN THE TITLE REPORT BY:
FIRST AMERICAN TITLE INSURANCE COMPANY ORDER #5405-7206499, DATED FEBRUARY 04, 2025.
THE EASEMENT NUMBERS DEPICTED HEREON MATCH THE EASEMENT NUMBERS AS SHOWN ON THE PRELIMINARY TITLE REPORT.
3. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF STORM DRAINAGE EASEMENTS" RECORDED SEPTEMBER 18, 2000 AS INSTRUMENT NO. 2000-18751 IN BOOK 2028, PAGE 783 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
4. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF SIGN EASEMENT" RECORDED SEPTEMBER 18, 2000 AS INSTRUMENT NO. 2000-18753 IN BOOK 2028, PAGE 804 OF OFFICIAL RECORDS. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (NOT PLOTTABLE)
5. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SUPERMARKET RESTRICTION AGREEMENT" RECORDED SEPTEMBER 18, 2000 AS INSTRUMENT NO. 2000-18760 IN BOOK 2028, PAGE 887 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
6. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "BUILDING RESTRICTION AGREEMENT" RECORDED SEPTEMBER 18, 2000 AS INSTRUMENT NO. 2000-18761 IN BOOK 2028, PAGE 896 OF OFFICIAL RECORDS. (PLOTTED)
7. AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION, FOR: NON-EXCLUSIVE RECIPROCAL EASEMENT FOR INGRESS AND EGRESS, DRAINAGE, PARKING AND PUBLIC UTILITIES AND INCIDENTAL PURPOSES. (NOT PLOTTABLE)

APN 064-450-076
PARCEL 2
(PM 12-6)
VACANT LOT
GENERAL COMMERCIAL

APN 064-450-067
PARCEL 1
(PM 8-29)
COSTCO WHOLESALE
GENERAL COMMERCIAL

APN 064-442-008
PARCEL 2
0.75 AC
(PM 13-95)
COMMERCIAL BUILDING
GENERAL COMMERCIAL

APN 064-442-007
PARCEL 1
3.59 AC
(PM 13-95)
LANDSCAPE OPEN SPACE
7,419 S.F.

APN 064-441-001
LOT 13
(FM 19-50)
VACANT LOT
GENERAL COMMERCIAL

SEWER DATA		
CLEAN OUT		
NO.	CAP	INVERT
1	970.50	961.00
2	969.50	961.14
3	970.45	962.42
4	970.75	963.46
5	970.45	963.79
6	970.35	964.73
7	970.75	964.83
8	971.50	969.50
9	971.00	969.94
10	971.20	963.01
11	971.50	964.05
12	971.20	964.26
13	971.10	965.20
14	971.50	965.30

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CITY OF EL CENTRO
ACCEPTED:

DATE



PREPARED UNDER THE DIRECTION OF:

MAURICIO LAM
DATE

8,440
P.L.S. No.
12/31/26
EXP. DATE

LC ENGINEERING CONSULTANTS INC.
CIVIL ENGINEERING AND SURVEYING/CONSTRUCTION MANAGEMENT SERVICES
1065 State Street
El Centro CA 92243
www.lcec-inc.com
tel 760.333.8100
info@lcec-inc.com
fax 760.332.6408

TENTATIVE CONDOMINIUM MAP
WATERMAN AVENUE V-CONDOS
TENTATIVE CONDOMINIUM MAP
CITY OF EL CENTRO, CALIFORNIA
DATE 07/08/26
BY STAFF
JOB NUMBER C25033-00 TCM
C25033-00

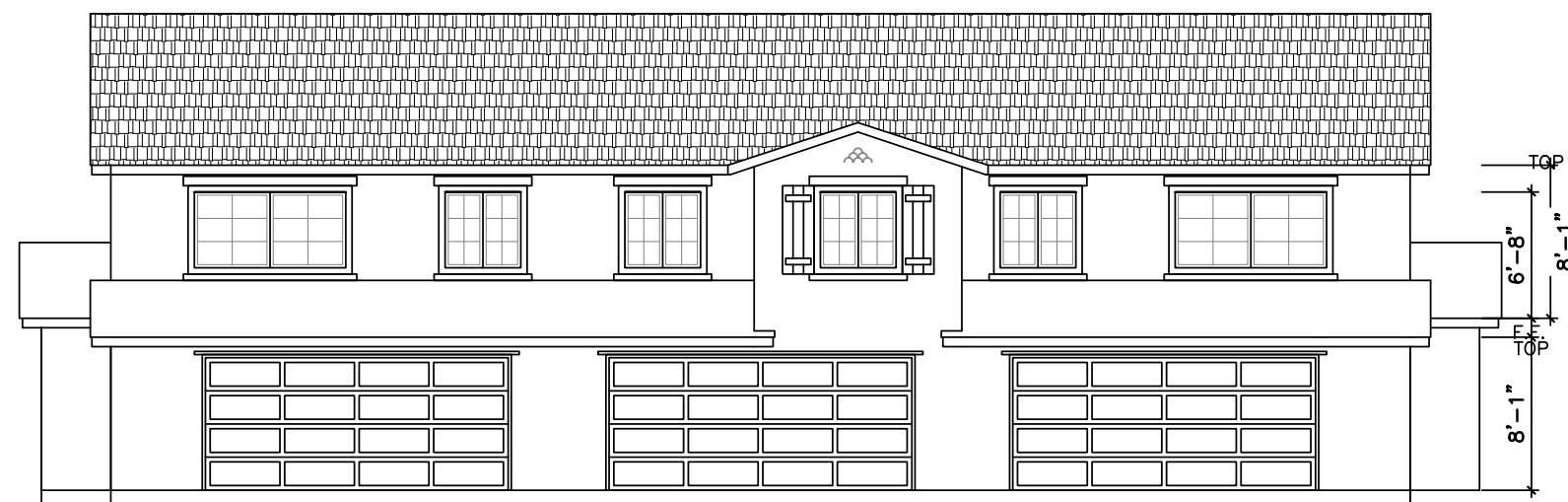
TENTATIVE CONDOMINIUM MAP
FOR

WATERMAN AVENUE CONDOMINIUM PROJECT

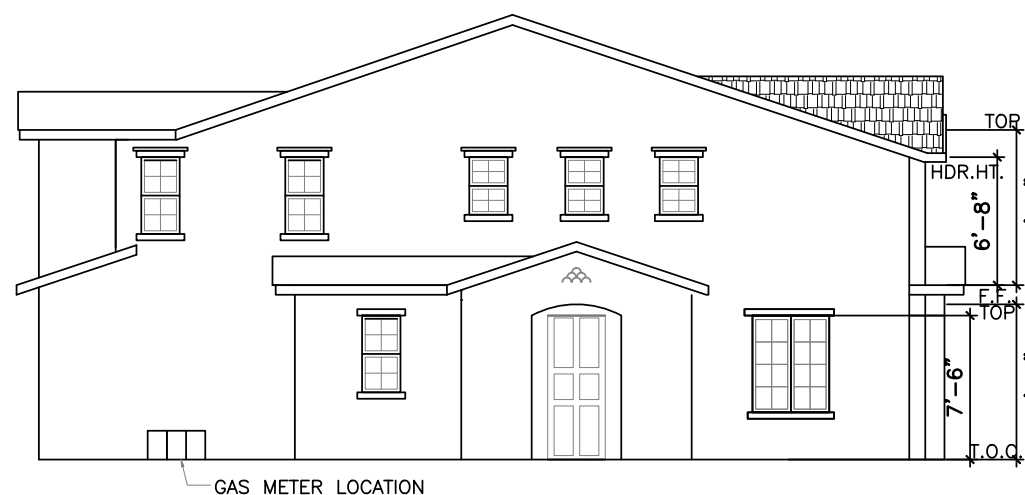
PARCEL 2 PER PM 13-95, BEING A PORTION OF LOT 14 OF NORTHGATE SUBDIVISION PER FM 19-50, TOWNSHIP 15 SOUTH, RANGE 13/14 EAST, S.B.M.



THREE PLEX - REAR ELEVATION
NOT TO SCALE



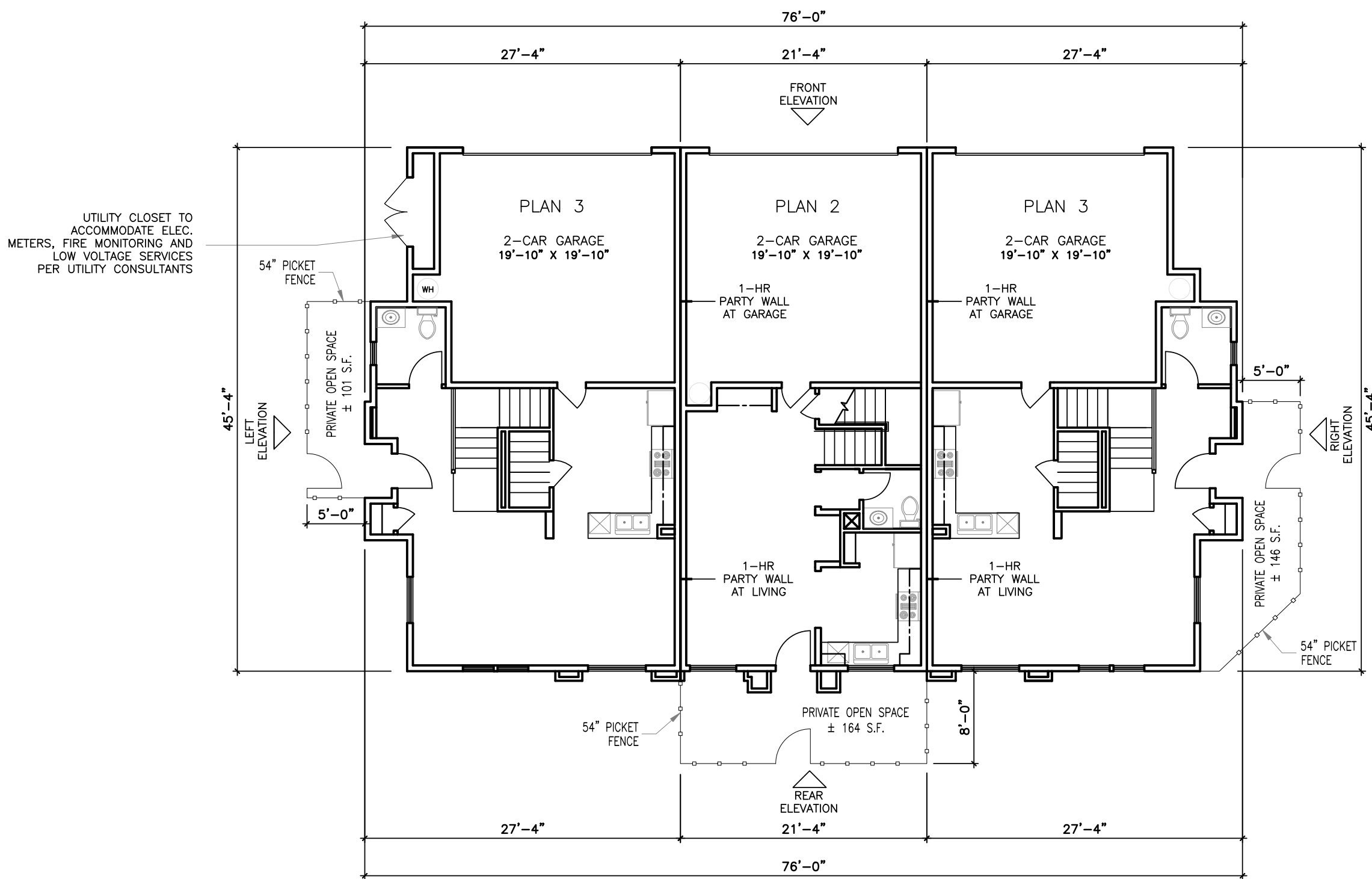
THREE PLEX - FRONT ELEVATION
NOT TO SCALE



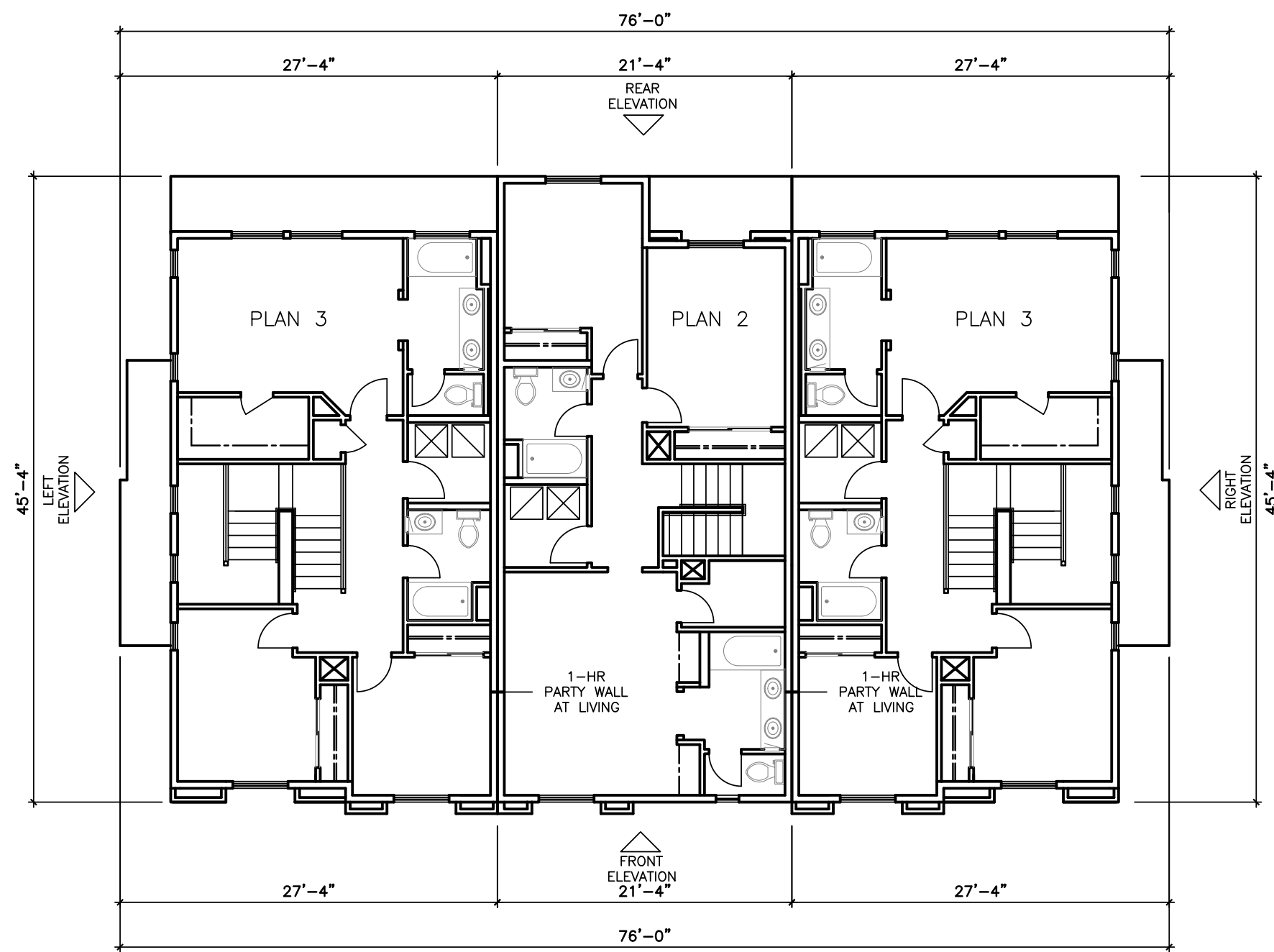
THREE PLEX - RIGHT ELEVATION
NOT TO SCALE



THREE PLEX - LEFT ELEVATION
NOT TO SCALE



THREE PLEX - FIRST FLOOR BUILDING PLAN
NOT TO SCALE



THREE PLEX - SECOND FLOOR BUILDING PLAN
NOT TO SCALE

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CITY OF EL CENTRO
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DATE

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EXP. DATE



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fax 760.332.6408

BUILDING "TYPE A" - THREE PLEX

WATERMAN AVENUE V-CONDOS
TENTATIVE CONDOMINIUM MAP

CITY EL CENTRO, CALIFORNIA

CLIENT QE CONSULTING & DESIGN

DATE 07/08/26

BY STAFF

FILE NAME C25033-00 TCM JOB NUMBER C25033-00

TENTATIVE CONDOMINIUM MAP
FOR

WATERMAN AVENUE CONDOMINIUM PROJECT

PARCEL 2 PER PM 13-95, BEING A PORTION OF LOT 14 OF NORTHGATE SUBDIVISION PER FM 19-50, TOWNSHIP 15 SOUTH, RANGE 13/14 EAST, S.B.M.



FOUR PLEX - REAR ELEVATION
NOT TO SCALE



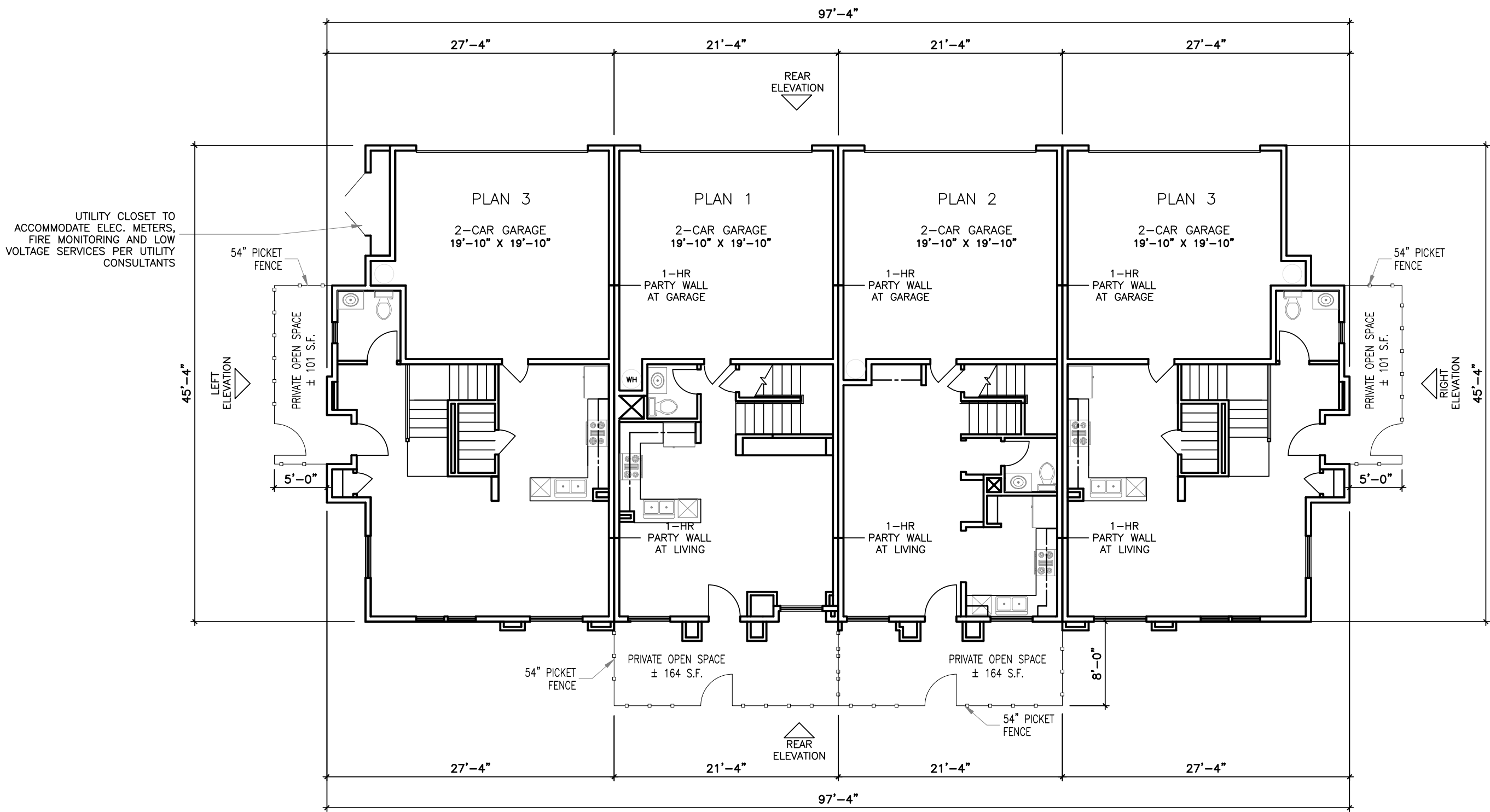
FOUR PLEX - FRONT ELEVATION
NOT TO SCALE



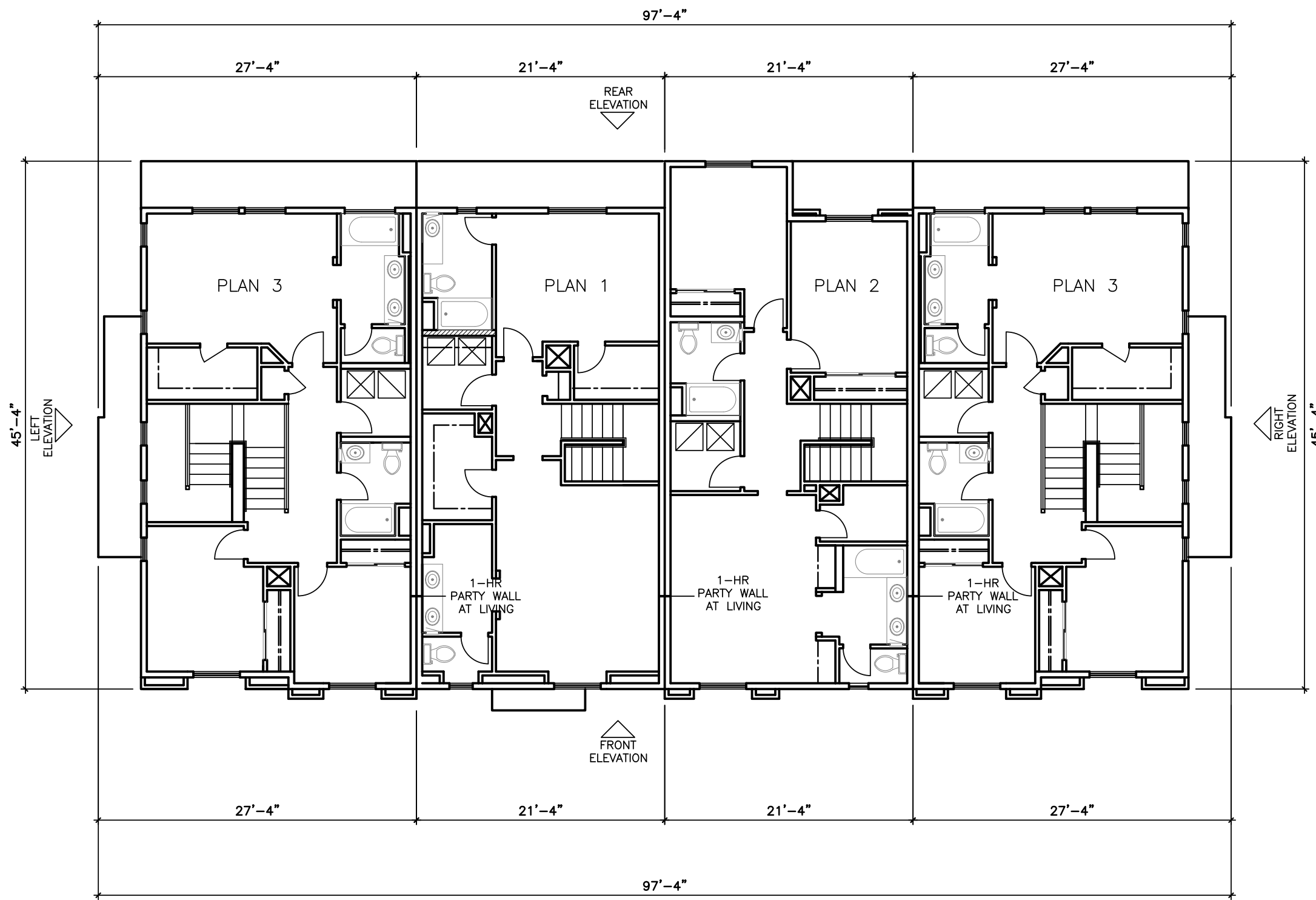
FOUR PLEX - RIGHT ELEVATION
NOT TO SCALE



FOUR PLEX - LEFT ELEVATION
NOT TO SCALE



FOUR PLEX - FIRST FLOOR BUILDING PLAN
NOT TO SCALE



FOUR PLEX - SECOND FLOOR BUILDING PLAN
NOT TO SCALE

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BUILDING "TYPE B" - FOUR PLEX

WATERMAN AVENUE V-CONDOS
TENTATIVE CONDOMINIUM MAP

CITY	EL CENTRO, CALIFORNIA	DATE	07/08/26
CLIENT	QE CONSULTING & DESIGN	JOB NUMBER	C25033-00 TCM

SHEET

4

4

BY

STAFF

OF

STAFF

**City of El Centro
Interoffice Memorandum**

**Department of
Building and Safety**

To: Andrea Montano, Associate Planner
From: Frank Soto, Building Official
Date: 2/24/2026
Subject: Tentative Subdivision Map 25-01
Project: 49 Unit Condominium at Ford Drive and Waterman Avenue

The Department of Building and Safety has no comments, concerns, or objections.

Respectfully,

Frank Soto

Frank Soto, CBO
Assistant Community Development
Director/ Building Official

CITY OF EL CENTRO
DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

INTER-OFFICE REVIEW MEMORANDUM

DOCUMENT REVIEW TYPE:

☐ SPR

☐ CUP

☒ TPM

☐ PM

Review Date: July 20, 2026

TO: Andrea Montañó, Assistant Planner

FROM: Abraham Campos Public Works Director

SUBJECT: TSM 25-01 49 unit condominium at Ford Drive and Waterman Ave.

SUBMITTAL STATUS: ☒ Submittal has been reviewed. Refer to comments below.
☐ Unacceptable submittal. Missing information. Refer to additional requirements at end.

GENERAL COMMENTS

- ☒ Irrigation, building and fire backflow preventers shall be required and a plan depicting their location is necessary for review and approval by the City Water Department.
- ☒ Any water, sewer and storm-drain systems onsite shall be maintained by the development and not by the City. Any future tie-ins to the onsite system shall first require a Building Permit for proper inspections. Any future work or maintenance of the onsite utilities shall be performed by contractors properly licensed to do such work.
- ☐ A sewer pretreatment program will be required. Provide anticipated sewer load to Wastewater department for assessment.
- ☒ All improvements within the City's right of way shall be designed and built according to City standards and specifications and submitted for review with:
 - ☒ Encroachment permit application
 - ☒ Reference to Parcel Map name.
- ☒ Grading permit is required. Approved grading permit shall be obtained prior to building permit issuance.
- ☒ Provide trash enclosure built to city standards. Provide City Trash Service Purveyor (CR&R) approval letter of trash enclosure sizing prior to issuance of a Grading Permit or Building Permit, whichever comes first.
- ☒ Other: Refer to Additional Requirements section at end of this document

WATER AND SEWER CAPACITY FEES

- ☒ Water and sewer capacity fees will be assessed prior to building permit being issued based on increased use and/or intensity from historical conditions.
- ☐ Based on preliminary provided information, no increase in use or intensity from historical use is anticipated and no sewer or water capacity fee will be assessed. Re-evaluation required if use or intensity change.
- ☒ Other: Refer to Additional Requirements section at end of this document

GRADING AND EROSION CONTROL

- ☒ A grading, drainage, and erosion control plans prepared by a licensed civil engineer in the State of California depicting the elevations and slopes for all new site work shall be submitted for review and approval prior to building permit. Plans shall comply with Chapter 22, Article VII "Storm Water Regulations" of the El Centro Ordinance, Chapter 7, Article XIX "Grading Regulations" of the El Centro Ordinance and El Centro Post Construction Best Management Practices supporting said ordinances. Plans shall also ensure compliance with the American with Disability Act (ADA).
- ☒ Project is over 1 acre and requires a SWPPP in compliance with the State Water Resources Control Board. Submit copy of approved Notice of Intent (NOI) as submitted to the SMARTS system as part of Grading Permit application.
- ☐ If not already installed, all onsite drainage must flow through storm interceptor system in order to decrease grease and other volatile waste from entering the drainage system. The grading plan shall depict the type and location of the storm interceptor system.
- ☒ Retention basin, if built, shall comply with City retention basin standard. Retention basin must drain within three days. Retention basin must be equipped with systems to re-route nuisance water if connection point is available in compliance with the Storm Water Ordinance.
- ☒ A Water Quality Management Plan is to be submitted along with grading permit application prepared by a licensed civil engineer.
- ☒ Provide stabilized entrance/exit in accordance with best management practices to prevent tracking on city streets for review and approval by city. Proposed work to be shown in improvement plans.
- ☒ Facility type is required to have an Erosion Control Plan for construction activities.
- ☒ Other: Refer to Additional Requirements section at end of this document

ADA

- ☒ All sidewalks and ADA ramps provided must comply with ADA access standards and city standards.
- ☒ Provide ADA access from nearest public sidewalk to facility main access.
- ☒ Other: Refer to Additional Requirements section at end of this document

IMPROVEMENTS

- ☒ Provide improvement plans for all off-site work prepared by a licensed Civil Engineer in the State of California. Plans shall clearly identify all Right-of-Way lines, proposed improvements, elevations, benchmarks, dimensions and material / workmanship specifications as may be required.
- ☒ Provide curb/gutter and/or sidewalks to city standards on all fronting streets. (see notes below)
- ☐ Provide street lighting to city standards on all fronting streets.

- ☐ Construct half with of the streets fronting the site or one lane each direction plus parking lane, whichever is greater to City standards
- ☒ Provide fire hydrants to city standards and spacing requirements. If none within 300 feet distance.
- ☒ Provide sewer and water off-site utility plans for review and approval by this department with encroachment permit application.
- ☒ Other: Refer to Additional Requirements section at end of this document

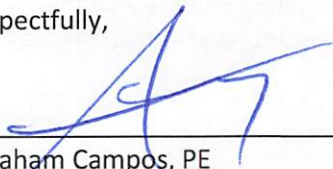
ADDITIONAL REQUIREMENTS

1. Capacity Fees
 - a. Water Capacity Fees and Sewer Capacity Fees must be paid prior to issuance of a Building Permit or Grading Permit (whichever comes first).
 - b. Capacity Fees Assessment are subject to change with revised council approval/resolution.
2. Grading Permit shall be issued prior to any Building Permits being issued, or any construction activities commencing. Grading and Erosions Control Plans and Storm Water Pollution Prevention Plan (SWPPP) shall be completed in accordance with City of El Centro Environmental Storm Water Requirements including the City's Jurisdictional Runoff Management Program (JRMP). Links for the requirements and application can be found on City website below:
 - a. <https://www.cityofelcentro.org/1298/ProgramDocuments>
 - b. <https://cityofelcentro.org/publicworks/forms-specifications/>
 - c. On-Site Utility plans shall be provided for City of El Centro review along with the Grading Permit.
 - d. A Water Quality Management Plan is to be completed, and approved by the Engineering Department with the Grading Permit. A Storm water Management and Discharge Agreement shall be recorded at the County of Imperial prior to the Certificate of Occupancy being issued.
 - e. This project is subject to flood control 100-year storm event for retention volume. The applicant shall provide both a Geotechnical Report and a Hydrology Report. This Parcel is within an area serviced by a regional flood basin, project will need to treat 1-yr storm event on site but can discharge remaining 100-yr storm volume to the IV Commons regional drainage system if desired.
3. Per ADA requirements, an ADA accessible pathway shall be provided to the Proposed Development from Public Right of Way.
4. Backflow preventers and installation details shall be included in the utility plans and submitted to the City of El Centro Water Department for review and approval.
5. El Centro Fire and building Department shall review and approve all aspects related to Fire Water and all fire appurtenances prior to issuance of Grading Permit.
6. If required by fire or building department, fire water service shall be installed per city standards including Back Flow Preventers. Applicant is to submit utility plans for review and approval.
7. Trash enclosure shall be built to city standards and approval from the City's trash service provider (CR&R) shall be provided to the City prior to Grading or Building Permit, whichever comes first. Trash enclosure shall

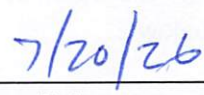
be located within the property with access from the project's Main Driveway Access and/or Access from the project's access off of Ford Drive.

8. Should any work be done over city right of way, work shall be in accordance with the City of El Centro Standards and will require an Encroachment permit.
9. Any broken, damaged or lifted sidewalk shall be removed and replaced to City of El Centro Standards prior to Certificate of Occupancy
10. All existing curb ramps adjacent to the project shall be brought to ADA compliance, any broken, damaged or lifted Curb Ramps shall be removed and replaced to City of El Centro Standards prior to Certificate of Occupancy.
11. Applicant proposes water, sewer, and storm drain infrastructure to connect to adjacent parcel to the east. Applicant shall provide proof of easement or access to said infrastructure prior to approval of any grading permit or off-site improvement plan for the project.

Respectfully,



Abraham Campos, PE
Public Works Director/City Engineer



Date

From: **Brad Chapin** <BChapin@cityofelcentro.org>
Date: Tue, Apr 7, 2026 at 12:34 PM
Subject: Re: Waterman Condos
To: QE Consulting <qeconsultingiv@gmail.com>

Good afternoon Lisa,

As discussed in our meeting, the Fire Department has no concerns regarding the width of the travel ways at 26' as shown in the plans dated 01/23/26 for the North Waterman V-Condo project.

Please let me know if I can help further.

Cordially,
Brad Chapin
Battalion Chief | C Shift
City of El Centro Fire Department
[1910 N. Waterman Ave](#)
[El Centro, CA 92243](#)
[Office 760.337.4038](#)
Cell 760.554.5264
Admin 760.337.4530

From: QE Consulting <qeconsultingiv@gmail.com>
Sent: Friday, April 3, 2026 2:41 PM
To: Brad Chapin <BChapin@cityofelcentro.org>
Subject: Waterman Condos

Good afternoon Chief Chapin,

Please find the attached site plan reflecting the change requested by the Fire Department from 26' to 30'. This was previously an approved site plan.

Per our recent meeting, I would appreciate your confirmation on whether the requirement to increase from 26' to 30' in all interior and exterior areas is no longer required.

Thank you for your time and assistance.

Lisa Mora
Project Manager
QE Consulting
(760) 234-7444

**RESOLUTION NO. 26-
FOR TENTATIVE SUBDIVISION MAP NO. 25-01**

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF EL CENTRO APPROVING A PARCEL MAP WAIVER
FOR TENTATIVE SUBDIVISION MAP 25-01 AT THE SOUTH
EAST CORNER OF WATERMAN AVENUE AND FORD
DRIVE.

WHEREAS, Lisa Tylenda, on behalf of property owner Venkat Patlola, requested a waiver of the parcel map requirement to allow for the development of a 49 Unit Condominium Project on a single parcel located at the southeast corner of Waterman Avenue and Ford Drive;

WHEREAS, Section 24-6 of the Municipal Code allows for a waiver of tentative map and final map or parcel maps for condominium projects on a single parcel provided findings can be made in support; and

WHEREAS, the Commission adopts the findings required by Government Code Section 66473.5, including that the project is consistent with the City's General Plan; and

WHEREAS, the proposal is categorically exempt from formal environmental review pursuant to Article 19, Section 15332, Class 32 of the California Environmental Quality Act of 1970, as amended, pertaining to infill development projects; and

WHEREAS, a public hearing was held on the petition for a parcel map waiver for Tentative Subdivision Map 25-01 at a regular Planning Commission Meeting held on August 11, 2026 in the City Council Chambers at 1275 W. Main Street, El Centro, California; and

WHEREAS, the public hearing was advertised according to law; and

WHEREAS, the applicant was present and heard; and

WHEREAS, no one was present to object to the petition nor were any objections filed with the Commission; and

NOW, THEREFORE, be it resolved that the Planning Commission grants approval of a parcel map waiver for Tentative Subdivision Map 25-01, to allow the development of a condominium project at the southeast corner of Ford Drive and Waterman Avenue, further identified as APN 064-442-007 subject to the conditions found in Exhibit A- Conditions of Approval.

PASSED AND ADOPTED on August 11, 2026 by the following vote:

ROLL CALL: Ayes:
 Noes:
 Absent:
 Abstaining:

CITY OF EL CENTRO
PLANNING COMMISSION

By _____
Ashley Bertussi
Chairperson

ATTEST:

By _____
Angel Hernandez, AICP
Secretary-Director

EXHIBIT A

Conditions of Approval

General

1. The project consists of the development of a 49-unit condominium project at APN 064-442-007. The subject property encompasses 3.59 acres of vacant land at the southeast corner of Waterman Avenue and Ford Drive.
2. The parcel map waiver is granted based on findings that the proposed division complies with the applicable zoning ordinance and the Subdivision Map Act.
3. Approval is valid for two years from the final date of approval, unless a time extension is granted pursuant to Section 24-30 of the Municipal Code.
4. The property is zoned R3-Multiple Family Residential (R3 Zone) and is consistent with the City's General Plan designation of High-Medium Residential.
5. Multiple family residential is allowed by right in the R3 Zone, however, condominium ownership would require the recordation of a condominium map.
6. The applicant shall defend, indemnify, and hold harmless the City, its officers, employees, and agents from any claim, action, or proceeding to attack, set aside, void, or annul this approval.
7. All conditions shall be satisfied prior to recordation of the Condominium Map, unless otherwise noted.
8. The premises shall be maintained in a good, clean, orderly manner, free of any debris or junk material.
9. All improvements within the public right of way shall be designed and constructed in accordance with City standards and specifications and submitted for review with an Encroachment Permit.
10. The project construction operations must adhere to the measures found in the Imperial County Air Pollution Control District (ICAPCD) Regulation-Fugitive Dust Rules as well as ICAPCD CEQA Handbook Measure for Construction equipment and fugitive PM10 control that assist in reducing short-term air pollutant emission (ICAPCD 2006). In addition, the owner/developer of the new development shall comply with Rule 310 of the ICAPCD.
11. The project shall comply with all other applicable state and City regulations, ordinances and resolutions.

Condominium Map Requirements

12. Prior to recordation, the applicant shall submit a legal description and plat map (exhibit) for the underlying land parcel, prepared and stamped by a licensed land surveyor or civil engineer authorized to practice land surveying in the State of California.
13. Prior to recordation of the Condominium Map, the applicant shall prepare and record a Condominium Plan pursuant to Civil Code § 4285, depicting the boundaries of each unit

(including horizontal and vertical/airspace dimensions), the common areas, and any exclusive use common areas.

14. The Condominium Plan shall be prepared and stamped by a licensed land surveyor or civil engineer, and shall be reviewed and approved by the City Engineer for accuracy and consistency with the underlying legal description and the approved architectural plans (floor plans, elevations, and building sections).
15. The Condominium Plan shall be consistent with the Declaration of Covenants, Conditions, and Restrictions (CC&Rs) to be recorded concurrently, including consistent unit numbering, common area definitions, and any exclusive use easements (e.g., patios, parking, storage).
16. Prior to building permit final/occupancy, the applicant shall submit an as-built Condominium Plan (or amendment thereto) if constructed unit boundaries differ materially from the recorded plan.
17. The applicant is advised that recordation of the Condominium Map and Condominium Plan does not, by itself, authorize the sale of individual units. A Final Subdivision Public Report from the California Department of Real Estate (DRE) is required prior to marketing, offering for sale, or selling any unit, pursuant to the Subdivided Lands Act (Bus. & Prof. Code § 11000 et seq.).
18. Upon satisfaction of all conditions, the City Engineer shall execute the Condominium Map for recordation with the County Recorder's Office. Survey monuments shall be set at the exterior boundary corners of the parent parcel in accordance with the Subdivision Map Act and the Professional Land Surveyors Act, unless waived by the City Engineer.

Development and Design Standards

19. Private open space shall be provided contiguous to each unit in the amount of 50 square feet. Private open space shall have a minimum width and depth of five (5) feet, and be screened from ground level exterior visibility by a wood or masonry fence not more than fifty (50) percent open and not less than fifty-four (54) inches high, or, if on a deck or balcony, not less than forty-two (42) inches high.
20. Building design shall comply with the Residential Zone design and development standards for multi-family projects as listed in Section 29-54 and Section 29-56 of the City Code. Building permit plan submittals shall include building elevations that demonstrate compliance with the applicable development and design standards.

Parking, Vehicle, and Pedestrian Access

21. Parking shall be provided at a minimum ratio of 2.25 parking spaces per condominium/townhouse unit. Parking spaces shall be no less than eighteen feet (18') by nine feet (9') in length and width. Compact spaces may measure sixteen feet (16') by eight and one-half feet (8 ½') in length and width, but shall not exceed twenty percent (20%) of the total required parking spaces.
22. The parking lot and outdoor areas shall be adequately illuminated. All outdoor lighting shall be hooded and arranged to reflect light away from adjacent streets.

23. Pedestrian walkways to public sidewalks shall be provided to Waterman Avenue and Ford Drive.
24. The parking area shall be maintained in accordance with Section 29-134 of the City Code. Parking stalls shall be striped accordingly and be maintained in good condition.
25. Any vehicle gates designated for Fire Department access shall be approved by the Fire Department and include a KNOX box access.
26. Colored or textured paving shall be installed at a minimum depth of ten (10) feet immediately behind the street property line.
27. The project entry on Waterman Avenue shall be identified by architectural accents or massing of structures. Landscaping and site design shall be used to frame and distinguish the main entry.
28. Any vehicle gates shall be designed to allow for the queuing of two vehicles so as not to obstruct pedestrian crossing or vehicle traffic.

Landscaping and Screening

29. Landscaping and irrigation plans shall be submitted to the City for approval with Building Permit submittals. All landscaping shall be provided in accordance with the approved site plan and the State's Model Water Efficient Landscape Ordinance and Section 29-142 of the City Code and consist primarily of live vegetation.
30. A landscape buffer shall be installed and maintained along the rear yard (east) of the property. Landscaping shall include the installation of trees at a minimum distance of 25 feet on center.
31. Plant materials brought from outside Imperial County shall comply with County of Imperial – Agricultural Commissioner quarantine requirements. For more information, please contact the Imperial County – Agricultural Commissioner at (442) 265-1500, agcom.imperialcounty.org, or by e-mail at agcom@co.imperial.ca.us.
32. Gravel or decorative rocks within the project site shall not be used in lieu of vegetative ground cover. More than 50% of the landscaped areas shall be covered with live vegetation.
33. All landscaped areas shall be maintained in a clean, neat, and healthy condition whether the buildings are occupied or vacant. Maintenance shall include proper watering, fertilizing, weeding, removing of litter, and replacement of plants when necessary.
34. Trash enclosures, located within the property along the project's Waterman Avenue and Ford Drive entrances, shall be required and shall be completely enclosed on four (4) sides by a solid six (6) foot wall or fence. Solid access doors shall be provided at the same height as the wall or fence. CR&R shall approve the size and location of the proposed trash enclosure. Matthew Gray may be contacted at (760) 482-5656 or matthewg@crrmail.com for further assistance. Approval from CR&R must be provided to the Engineering Division prior to release of a grading or building permit.

Building and Safety

35. A building permit shall be required for the proposed project. Building permit submittals shall include the following items:
- a. Four (4) sets of professionally designed construction plans. The plans shall be fully detailed and include underground utilities, foundation, framing, electrical, plumbing, mechanical systems, and other relevant components.
 - b. Accessibility details stamped and signed by an access specialist (CAsp)
 - c. Three (3) copies of truss calculations
 - d. Three (3) copies of energy calculations
 - e. Three (3) copies of structural calculations
 - f. Two (2) copies of the geotechnical soil report
 - g. A construction waste management plan
36. Buildings shall be equipped with an automatic fire sprinkler system. Automatic fire sprinkler systems shall be installed under a separate building permit and submitted with the following:
- a. Three (3) sets of detailed plans
 - b. Three (3) sets of hydraulic calculations
 - c. Three (3) sets of manufacturers' material information sheets for the sprinkler heads, piping, horn strobe device, flow switch, and hangers
37. Please note that building permit applications and plans submitted must comply with the California Building Codes, Building Energy Efficiency Standards, California Green Code, and any additional code that may be pertinent at the time a building permit is submitted.

Utilities

38. Irrigation, building, and fire backflow preventers shall be required. Backflow prevention device specifications and installation details shall be included in the utility plans and submitted to the City of El Centro Public Works Department for review and approval on encroachment permit plans.
39. New water and sewer services requires the applicant to submit a Water and Sewer Connection Application. Link for the application and requirements may be found below: <https://Cityofelcentro.org/publicworks/forms-specifications/>
40. On-site water, sewer and storm-drain systems shall be maintained by the property owner and not the City. Any future tie-ins to the on-site system shall first require a Building Permit. Any future work or maintenance of the on-site utilities shall be performed by contractors licensed to do such work.
41. Prior to the issuance of a Certificate of Occupancy, the previously-approved Water Quality Management Plan (WQMP) shall be recorded at the County of Imperial – Clerk-Recorder. Links for this requirement can be found below: <https://Cityofelcentro.org/publicworks/forms-specifications/>

42. The El Centro Fire Department shall review and approve all aspects related to fire water services and all fire appurtenances prior to issuance of Grading Permit.
43. Water and sewer capacity fees will be assessed based on fees established by the City Council at the time a Building Permit or a Grading Permit is being formally paid. The fees must be paid prior to issuance of either a Building Permit or Grading Permit, whichever comes first.
44. Provide sewer and water off-site utility plans for review and approval by the Public Works Department – Engineering Division with an encroachment permit application.

Grading And Erosion Control

45. A grading permit shall be obtained prior to issuing a building permit.
46. A grading, drainage, on-site utilities, and erosion control plans prepared by a licensed civil engineer in the State of California depicting the elevations and slopes for all new site work shall be submitted for review and approval prior to building permit. Plans shall comply with Chapter 22, Article VII “Storm Water Regulations” of the El Centro Ordinance, Chapter 7, Article XIX “Grading Regulations” of the El Centro Ordinance and El Centro Post Construction Best Management Practices supporting said ordinances. Plans shall also ensure compliance with the Americans with Disabilities Act (ADA).
47. Because the project is over 1 acre it requires a SWPPP in compliance with the State Water Resources Control Board. Submit copy of approved Notice of Intent (NOI) as submitted to the SMARTS system as part of Grading Permit application.
48. The Project is considered a Regulated Project and will be subject to hydro-modification requirements and water treatment requirements, which can be found in the City’s Jurisdictional Runoff Management Program (JRMP):
<https://Cityofelcentro.org/publicworks/stormwater-program/>
49. The project shall provide on-site stormwater pretreatment designed for a one-year storm event. The project site is served by a regional flood detention basin located on the IV Commons property. Geotechnical and Hydrology Reports shall be submitted to the Engineering Division for review with the Grading Permit submittal.
50. Provide stabilized entrance/exit in accordance with best management practices to prevent tracking on City streets for review and approval by the City. Proposed work to be shown in improvement plans.
51. A Water Quality Management Plan shall be submitted with, and approved by the Engineering Division as part of, the Grading Permit application.
52. A Stormwater Management and Discharge Agreement shall be recorded at the County of Imperial Clerk/Recorder’s office prior to the first Certificate of Occupancy being issued.
53. Prior to approval of any grading permit or off-site improvement plan for the project, proof of easement or access to the proposed infrastructure location east of the property, which will contain water, sewer and storm infrastructure connections, shall be provided.

Offsite Improvements

54. All sidewalks and ADA ramps provided must comply with ADA access standards and City standards.
55. Any damaged and/or lifted curb & gutter fronting the property shall be removed and replaced.
56. Applicant is to provide offsite improvement plans including striping plans on Waterman Ave. and Ford Dr. with encroachment permit submittals.
57. Provide improvement plans for all off-site work prepared by a licensed Civil Engineer in the State of California. Plans shall clearly identify all Right-of-Way lines, proposed improvements, elevations, benchmarks, dimensions and material / workmanship specifications as may be required.



PLANNING COMMISSION

City Hall
1275 W. Main Street
El Centro, CA 92243

Item: 3.

Meeting: 8/11/2026 5:30 PM

Category: Presentation

NON-ACTION INFORMATION ITEMS

COMMUNITY DEVELOPMENT DEPARTMENT MONTHLY REPORT

STAFF REPORT - INFORMATION ITEM:

Civic Center and Downtown Master Plan – Staff conducted interviews with four consultants during the week of April 18, 2026. Staff is currently evaluating proposals and reviewing cost estimates, with a consultant selection agreement anticipated to be brought before the City Council at its September 1, 2026 meeting.

Safety, Open Space/Conservation, and Noise Element Update – A kick-off meeting was held on March 9, 2026. Consultants are currently gathering City information and noise and traffic data in support of the project. Public review of the document is expected in January 2027.

Downtown Residential Overlay – Staff is preparing a Zoning Ordinance Text Amendment and General Plan Amendment to establish a Downtown Residential Overlay along Broadway Avenue between 4th Street and 8th Street.

On-Call Planning Consultant RFP – Community Development staff released a request for proposals for on-call planning consultant services. Staff is reviewing responses and will be scheduling interviews in August 2026.

Housing Element Amendment – Community Development staff is preparing amendments to the Housing Element as a result from an inquiry from Housing and Community Development Department.

Tobacco Retail Store Moratorium/Ordinance – Community Development staff is preparing an ordinance for the regulation of tobacco retail stores.

Water/Sewer Prioritization Policy – Community Development staff is working with Public Works staff to prepare a water/sewer prioritization policy implementing the Housing Element policy.

Planning Division Project Report – Attached

ATTACHMENTS:

1. Planning and Zoning Projects 8-6-2026

Planning and Zoning Projects

Owner	Project name	Status Summary	Project Type	Status	Description	MyGov ID
Angel Hernandez	Countryside South Subdivision Map Amendment	Staff is meeting monthly with the applicant.	TSM	Paused	Modifications of COA for Countryside South TSM	22-000007
Andrea Montaño	TSM Willow Bend Subdivision Map Amendment	Approved by City Council on February 4, 2025. Annexation approved by LAFCo on 2/27/2025. Annexation recorded on 5/30/2025. The ICE Study was submitted to Caltrans for review on August 11, 2025. Staff received comments from Caltrans on December 2, 2025. Staff sent revised ICE study to Caltrans on 5/14/2026. Staff meet with Caltrans on July 2, 2026. The comment letter from Caltrans is still pending.	TSM	In Progress	Amendment to Conditions of Approval of the Willowbend TSM.	22-000008
Andrea Montaño	LLA/LM 23-01 Lot Line Adjustment Dahm 1425 Cypress Drive	Planner is pending a beneficiary certificate to be submitted by the owner. As of July 31, 2026 the engineer is still working on getting a new beneficiary certificate.	LLA/LM	In Progress	Adjust lots between two residential parcels	23-000009
Andrea Montaño	LLA/LM 23-03 Maruti Cons. Lot Line Adjustment WS Imperial Avenue b/t I-8 and Danenberg	As of 12/16/24 applicant has resumed project. Staff is waiting for applicant to provide an updated preliminary title report. The project manager informed staff on 10/24/25 that the applicants were actively engaging with title holders to proceed with completions of the lot line. on 2/3/26 staff issued a 30 day inactivity notice. As of 6/25/26 the applicant indicated they are attempting to obtain the necessary signatures from their lender.	LLA/LM	Paused	Lot line adjustment of parcels.	23-000021
Andrea Montaño	COZ 23-01, TSM 23-01, SP 23-01 Galey Kennedy Investment Parkview Single Family Subdivision 1526 Clark	Applicant received comment letter on July 29, 2026. Staff is reviewing the new proposal for CEQA Documentation.	CEQA COZ TSM Specific Plan	In Progress	The Parkview project proposes a Tentative Map, Specific Plan, Pre-Zoning and Annexation to allow for subdividing the approximately 26-acre project into 114 lots for development with single family homes.	23-000028
Andrea Montaño	LLA 24-03 LC Engineering Consultants, INC Hyundai Dealership-2202 Merrill Center Dr.	Documents were approved by consultant surveyor on 4/2/24. Staff is awaiting applicant to prepare documents for recording. Staff provided updated recorded documents on 2/2/26. As of 8/5/2026 the project manager informed staff the notarized signatures are still pending.	LLA/LM	Paused	Merge two properties into one.	24-000006
Andrea Montaño	TSM 24-01 Dubose Design Group, Inc. Courtyard Villas Subdivision	The map and addendum were provided to the utilities for comments due back on July 9, 2026. Submitted comments on July 28, 2026. Staff is reviewing comments and the item is tentatively scheduled for September.	TSM	Paused	Vacant property that had an approved tentative map that expired Request re-approval for 50 single family lots in a R-1 zoned parcel. Layout is the same as the previous TM approved, including 2.38 ac. Retention Basin and 10.57ac. Park that will	24-000041
Andrea Montaño	SPR 25-04 Roberto Tiznado Storage Yard 2099 Fairfield Ave.	Determination Letter sent on 5/12/2026. Administrative Committee approved their appeal on July 15, 2026. Planning Staff is preparing a site plan review letter.	SPR	Done	Proposed storage facility.	25-000009
Andrea Montaño	CUP 25-01 Ventura Transfer Company Freight Yard 605 N 3rd St.	Consultants began work on 2/4/26 for an Air Quality Study, Biological Study, and Traffic Studies. Traffic Study was completed. Air Quality Study was reviewed by the Planner and the APCD. Biological Study is still pending.	CUP	Paused	Expansion of freight yard.	25-000023
Valeria Landeros	LLA 25-04 LC Engineering Lot Merger 290 Solano Ave.	Letter of Incompleteness sent 10/16. Extension Request Approved on 4/21. Corrections due 10/10/26.	LLA/LM	Paused	Lots are being requested to be merged to become a legal lot.	25-000048

Planning and Zoning Projects

Owner	Project name	Status Summary	Project Type	Status	Description	MyGov ID
Valeria Landeros	General Plan Amendment COZ 25-01 SPR 25-20 Toma & Saco El Centro Apartment Complex 1438 & 1448 Woodward Ave.	Letter of incompleteness sent 11/26. Corrections received 1/14 4/16, and 7/8. Meeting with applicant 2/17. Tribal letters sent 6/20. Corrections requested 7/16.	COZ SPR	In Progress	Construction of 18-unit apartment complex. General Plan Amendment required.	25-000056
Andrea Montaño	TPM 25-01 Jorge Pacheco Split Parcel 875 S. Glenwood Dr.	The item was scheduled before the Planning Commission on June 9, 2026. However the item was pulled for action before the meeting occurred in order for staff and the applicant to address additional items. The item is still pending resubmittal.	TPM	In Progress	One parcel to be subdivided into three parcels.	25-000057
Andrea Montaño	TSM 25-01 Venking, LLC New Condominiums Waterman Avenue	The applicant submitted the 4th review comments on 5/20/26. The applicant received additional comments from Engineering and they are scheduling a meeting with the applicant. The item will appear before the planning commission on August 11, 2026.	TPM	In Progress	49- Condominium Units- parcel map waiver for tentative map.	25-000059
Valeria Landeros	CUP 25-05 Ernesto Vega Event Hall 1698 Main Street	Letter of incompleteness sent 12/18, 4/22, 4/30, and 5/27. Corrections received 1/22, 1/29 and 3/13, 4/14, 5/22, and 6/6. New site plan review requested 7/29.	CUP	In Progress	300-person event hall, new building with 100 total parking spaces.	25-000063
Valeria Landeros	SPR 25-23 Duggins Construction Metal Structure 105 W. Commercial Ave.	Letter of Determination sent 7/24.	SPR	Done	New 55,590 sq. ft. metal structure and site improvements for Peri & Sons Packing.	25-000066
Andrea Montaño	GPA 25-01 COZ 25-02 CUP 25-06 Morningside Ventures, LLC Sunset Pointe Subdivision 2003 W. Main St.	The project tentative map was approved on 3/13/2026. Staff is reviewing the Draft Addendum. Conditions of approval are being drafted.	GPA CUP COZ TSM	In Progress	Proposed gated subdivision/PUD consisting of 37 detached townhomes. Zone Change, General Plan Amendment, CUP and Tentative Subdivision Map.	25-000067
Andrea Montaño	GPA 26-01 SPR 26-02 COZ 26-01 Arch Atelier LLC New Multi Family Apartments 1445 W. Pico Ave.	Project incompleteness notice was sent on 3/13/26. Resubmittal is expected by the end of August.	SPR GPA COZ	In Progress	Zone Change to R-3 to allow the development of multi-family apartments with on-site parking and improvements with General Plan density standards.	26-000011
Valeria Landeros	SPR 26-04 QE Design Consulting Multi Family Apartments Barbara Worth Dr.	Letter of Incompleteness sent 4/22. Corrections received 5/11 and 6/12. Corrections requested 5/29 and 7/8. Meeting scheduled 7/29.	SPR	In Progress	Proposed 28-unit multi-family project. APN 052-062-017 052-062-017 & 052-062-050	26-000024
Angel Hernandez	Leaf Society CBP Renewal	Applicant is making revisions to application.	Cannabis	Paused	Renewal of CBP for Leaf Society.	26-000030
Andrea Montaño	CUP 26-02 Jose Ochoa Studio Apartments 1425, 1445 & 1455 Ocotillo Drive.	Intradepartmental Review to conclude on 7/31/26.	CUP	In Progress	convert existing hotel into studio apartments.	26-000032
Valeria Landeros	TPM 26-01 Manuel Yanez 641 Lincoln Avenue	Corrections letter sent 6/17.	TPM	In Progress	Split the property into two equal sized lots and build a new residence in the newly formed lot.	26-000033
Angel Hernandez	AC 26-01 Roberto Tiznado Self Storage Containers_2099 Fairfield	Appeal approved at 7/15 meeting.	Administrative Review	Done	Self Storage Containers	26-000034
Andrea Montaño	TPM 26-02 Troy Taylor Parcel Map Waiver 698 W. Pico Avenue	Resubmittal from the applicant was received on 6/27/2026. Staff is reviewing.	TPM	In Progress	Subdivision of one lot into two parcels and provision of utilities to the new residential lot to build a house and ADU.	26-000037
Andrea Montaño	ZV 26-01 Sikh Temple 6 foot fence 453 Commercial Ave.	Variance was approved by the Planning Commission on 7/14/26 and was filed with the City Council on 8/4/26.	Zoning Variance	In Progress	Zoning Variance for 6 foot fence in the front.	26-000038
Valeria Landeros	SPR 26-09 Manuel Yanez New Home with an attached ADU at 182 W. State Street	Corrections letter sent 7/16.	SPR	In Progress	Build a new home with an attached ADU.	26-000039
Andrea Montaño	SPR 26-10 Loris Sanitation LLC Storage facility 1164 N. 4th Street	Incompletion letter expected to be mailed on 7/8/26.	SPR	In Progress	Build a storage facility on 1164 N. 4th Street, El Centro. 70 x 100 warehouse.	26-000040

Planning and Zoning Projects

Owner	Project name	Status Summary	Project Type	Status	Description	MyGov ID
Andrea Montaña	LLA 26-01 Imperial Manor Skilled Nursing Lot Line Adjustment 1455 N. Imperial Avenue.	Planner provided documents to Engineering for review on 7/2/26.	LLA/LM	In Progress	The primary purpose of the LLA is to facilitate the construction of a new office building on one of the adjusted parcels while ensuring that each resulting parcel contains adequate parking spaces, circulation areas, and site access, Reconfigured parcel boundaries will allow for more efficient planning with zoning standards.	26-000041
Andrea Montaña	LLA 26-02 Town Center Village, LLC. Lot Line Adjustment Cruickshank Drive.	Sent to Engineering on 7/21/26.	LLA/LM	Not start...	Lot line adjust and parcel map waiver for existing commercial parcels.	26-000042
Andrea Montaña	TPM 26-03 David Wang Parcel Map Waiver 044-620-057	Staff is reviewing the application	TPM	Not start...	The project consist of subdividing the existing vacant lot into four parcels and one remainder parcel.	26-000043
Angel Hernandez	TSM 26-01 Lotus Ranch TSM Extension 2026	Scheduled for approval at 9/15/2026 CC Meeting.	TSM	In Progress	Map Extension 2026	26-000044
Andrea Montaña	AC 26-02 Vantage Point Solutions Monoplam Tree 2352 S. 4th Street	AC scheduled for August 13, 2026.	Administrative Review	In Progress	A conditional use permit for the continued operation of an existing wireless facility. The facility is an existing 80' monopalm tree. The facility is "unmanned" and operates 24/7.	26-000045
Valeria Landeros	TUP 26-14 Mario Cortes California Tacos 1850 Bradshaw Dr.	Staff mailed determination letter on July 22, 2026.	TUP	Done	Operate food truck in Tractor Supply parking lot.	26-000046
Valeria Landeros	MVP 26-07 Mario Cortes California Tacos 1850 Bradshaw Dr.	Staff mailed determination letter on July 22, 2026.	Mobile Vendor Permit	Done	Operate a food truck.	26-000047
Andrea Montaña	CUP 26-03 Valley Drive Golf LLC Golf Simulator Rental 1151 S. Hope St.	Application incomplete notice sent on 7/22/26.	CUP	In Progress	Golf Simulator Rental, 3,000 sq. ft. 1 Unit, Tuesday- Thursday 2pm-9pm and Friday-Saturday 10am-10pm.	26-000048
Valeria Landeros	LLA 26-03 QE Consulting 28-Unit Apartments 1651 Barbara Worth Court	Staff is reviewing the application	LLA/LM	In Progress	Proposed 28 unit residential apartments	26-000049
Valeria Landeros	TUP 26-15 Country Fresh Farms 5 Day Meat Sale at 2053N. Imperial Avenue	Staff mailed determination letter on July 27, 2026.	TUP	Done	5 day cross promotional USDA frozen meat sale in the Lowe's parking lot. From August 5-9 from 8am-7pm. 26 feet freezer truck and 10x10 pop up canopy.	26-000050
Valeria Landeros	LLA 26-04 California Desert Properties, LLC Lot Merger	Staff is reviewing the application	LLA/LM	Not start...	Lot Merger to propose a construction project.	26-000051
Andrea Montaña	SPR 26-12 Luis Felix New Unit & two ADU's 314 Magnolia Ave	Staff is reviewing the application	SPR	Not start...	Add a new unit to an existing house to create a duplex and construct two attached ADU's	26-000053
Valeria Landeros	MVP 26-09 Rhonda Spear_Spears Hawaiian Shaved Ice Truck	Staff is reviewing the application	Mobile Vendor Permit	Not start...	Hawaiian Shaved Ice Truck	26-000054
Valeria Landeros	MVP 26-10 Virginia Spear_Spears Hawaiian Shaved Ice Truck	Staff is reviewing the application	Mobile Vendor Permit	Not start...	Hawaiian Shaved Ice Truck	26-000055
Valeria Landeros	SWD 26-01 Vintage & Coffee 719 W. Main Street	Staff is reviewing the application	Sidewalk Dining	Not start...	Sidewalk dining from 10am-6pm. 2 dual-seating tables and 2 four-peron tables. that equals a total of 12 seats.	26-000056
Valeria Landeros	Cannabis Business Permit Renewal 2026 STIIZY	Staff is reviewing the application	Cannabis	Not start...	2026 Permit Renewal	26-000057
Andrea Montaña	SPR 26-13 Vang Inc. 7Brew Coffee 064-470-080	Staff is reviewing the application	SPR	Not start...	945 square feet coffee restaurant with drive thru	26-000058